

Aurora Architectural Guidelines

Table of Contents

HOUSE DESIGN	3
1.1 City of Edmonton Standards	3
1.2 Siting of House	3
1.3 Minimum House Sizes	4
1.4 Lot Grading	4
1.5 Repetition	4
1.6 Corner Lots	4
1.7 High Visibility Lots	4
1.8 Roof Lines	4
MATERIALS	4
2.1 Roof Materials	5
2.2 Primary Finish	5
2.3 Trim Materials	5
2.4 Chimneys/Vents	6
2.5 Elevations/Detailing	6
2.6 Colours	6
2.7 Driveways and Garages	7
LANDSCAPING AND FENCING	7
3.1 Landscaping	7
3.2 Fencing	8
SUBDIVISION APPEARANCE	8
4.1 Address Plaque	8
DESCRETION	8
5.1 No Right to Enforce	8
5.2 Right to Amend	8
OTHER IMPORTANT GUIDELINES	
6.1 Damages	8
6.2 Sump Pump	8
6.3 Downspouts	8
6.4 Retaining Walls	9
6.5 Footing Elevations	9
Architectural Styles	10
Schedule – Fencing Details	14
Attachment 2 – Map	16

- Objective:** To achieve in this subdivision the highest possible standard of visual appeal, benefiting the building initially, and the residents ultimately.
- Concept:** Each unit design should effectively integrate into the overall look of the area. It is very important that the **relative** heights, massing and style of each unit compliment its neighbor and the “look” of the subdivision. The objective is to provide the necessary latitude in exterior style and finish to permit the homeowner to own the home of their choice. The Architectural Guidelines are designed to provide visual control for siting and colour, and to obtain the best possible streetscape appearance. Emphasis will be concentrated on trying to create a strong “curb appeal” to each home through attention to detail on the front elevation.
- Disputes:** Architectural styles other than the preferred options as discussed in this document may be considered in Aurora and will be carefully reviewed by the Architectural Committee to ensure that the style will blend with all of the homes in the development.

HOUSE DESIGN

To achieve the highest possible standard of visual appeal, a requirement for architectural detailing and continuity will apply to all homes. The permitted architectural themes in this stage of Aurora are: Arts and Crafts, Craftsman, Heritage, Tudor, and Prairie. Architectural themes provide elements that can be incorporated in a diverse range of styles, in a variety of applications. This framework will encourage originality and individual expression while the pattern of coordinated components and features establish the character of Walker.

These elements will include strong entrance treatments, the use of window grills and trim boards, built-up banding details, feature windows and brick. Samples of each style are available for your reference. The use of design elements particular to each style is required, but all plans will be reviewed on their own merits. Stucco exteriors will be considered on an individual basis with consideration for the appropriate detailing and style.

1.1 City of Edmonton Standards

Formal standards for development will be those as established in the City of Edmonton Zoning Bylaw. Conformity with these guidelines does not supersede the required approval process of the City of Edmonton. Note relevant plans regarding utilities and rights-of way.

1.2 Siting of House

Consider siting four foot side yards against the garage elevation, allowing for larger side yards against the living room (opposite) side yard. The wider yards will enhance the landscaped area between houses.

Additional setbacks may be required to articulate and provide streetscape differentiation to all proposed homes.

1.3 Minimum House Sizes

Single family homes with rear detached garages shall be a minimum exterior width within 4'0" of the building pocket width for each lot. The minimum house width on all RPL lots is 20'. Duplex lots shall maximise the building pocket.

1.4 Lot Grading

Lot grading is to conform to the latest approved subdivision grading plan. Do not grade to existing vacant lots or undeveloped land, but to the elevation provided. Final grade certificates must be prepared by a Surveyor and approved by the City of Edmonton Drainage Department showing that lot grades comply with the subdivision grading plan.

1.5 Repetition

The same house plan or model shall be separated by two (2) lots on the same side of the street and it will not be allowed directly across the street. The predominance of any one particular model on a streetscape will not be allowed. Repetition of Duplex elevations should be increased to three units and/or is at the discretion of architectural consultant.

1.6 Corner Lots

Special attention must be paid to side and rear elevations and side yard setbacks on all corner lots. The side and rear elevations should have the same treatment (ie. box outs, detailed battens, stone/brick) as the front elevation, as it is even more visible than the front elevation from the street.

1.7 High Visibility Lots

High visibility rear elevations require special design consideration. These elevations must have openings of a number and size that is suited to the wall area, and incorporate detailing consistent with the front elevation and overall design.

In addition, roof lines and decks will be required to prevent a three-story presence.

1.8 Roof Lines

The roof lines on any unit must be consistent and complimentary to the total house design. Roof materials are to be asphalt shingles. Minimum roof pitch and roof overhangs are as per each style. Reduced overhangs may be allowed if they are proportionate to the design of the home. The minimum fascia size will be 8". Some house types may require a steeper roof pitch to accommodate the streetscape. Specifically Bungalow designs will require a minimum 8/12 roof pitch. Prairie style Bungalow designs will generally not be allowed but may be considered in certain locations (corner lots) if appropriate.

MATERIALS

2.1 Roof Materials

IKO, Cambridge	- Weatherwood Dual Black, Harvard Slate, Driftwood
BP, Harmony	- Twilight Grey, Shadow Black Driftwood, Antique Grey, Stonewood
GAF, Timberline	- Weatherwood, Charcoal Blend

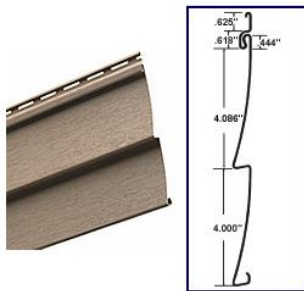
Minimum roof overhang to be 18 inches except over a cantilever, bay or boxed out window where the minimum overhand required is 12 inches. The roof lines on any house must be consistent or complimentary to the total house design.

2.2 Primary Finish

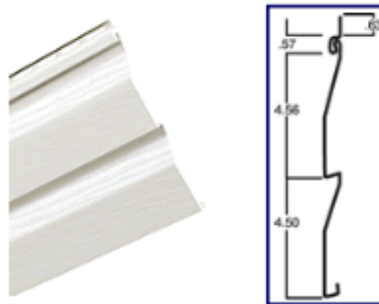
Vinyl siding in premium colours, hardie board, smooth finish stucco, brick or stone will be allowed. All stucco must be complimented with stucco detailing appropriate to the particular style.

All horizontal vinyl siding must be Traditional/Clapboard profile, minimum exposure to be 3" and maximum to be 4.5". Dutch lap/Designer profile will not be permitted. See sketches below.

Acceptable Profile:



Not Acceptable Profile:



The maximum height of parging is 2'0" on all elevations. For bi-levels the maximum is 1'0".

2.3 Trim Materials

Fascia boards are to be a minimum 8" on all lots. Decorative grill or muntin bars must be used on all windows facing the street including side windows of bays and any window within 3 feet of the front corner and on high visibility locations.

No false fronts shall be permitted unless the material utilized on the front elevation of the dwelling is either brick or stone.

Two colours will be required with a third accent color (typical – front door). These colours can be used on the following:

- primary finish
- battens
- window trim

2.4 Chimneys/Vents

All flues are to be boxed in with the same finish and detailing as the house.

2.5 Elevations/Detailing

Stone is to be used as an accent in conjunction with other detailing options based on the style and design requirements of the house. Use of stone should be used to compliment the style of the home, not just be added as a requirement. A minimum of 75 square feet of brick or stone will be required in conjunction with other building materials and based on the overall design of the home.

Stone or brick is not to extend above the garage and should not be applied to the second storey of the home unless required by the design of the home. Stone or brick applied to the garage should be used in conjunction with soldier course or heavy trim at the top.

In addition, the verandahs and / or porch must be enclosed to grade and clad with brick or stone. Lattice will not be permitted. Risers must be closed back. Precast steps may not require additional stone work. Brick or stonework is to be complementary to the main body colour of the home. To achieve the standard and calibre of visual appeal, a requirement for architectural detailing and continuity will apply to all homes. The minimum verandah/porch depth shall be no less than 5'-0".

Additional detailing options to reduce stone or brick requirements may include the following:

Board and Battens, Shadow bands, Vinyl or Cedar Wall Shakes, Shutters, Brackets.

Other decorative trim, Window sill details, Louvers.

All additional detailing must be carried through in gables as well as front elevation (garage) treatments to reduce stone requirement.

The use of window and door surrounds will be a feature on all homes.

The application of a variety of cladding materials, including stucco and siding, will be permitted.

Rough sawn vinyl shakes and wood shake materials are permitted.

Column sizes are to be a minimum of 14"-18" at the stone base area.

Entrance ways will be covered at a level that encloses and protects the space – at the first level or a height proportionate to the design. The grand, but somewhat overwhelming, two storey pillared entries will not be allowed. All exposed wood must be stained out to match the wall or trim colour. The landing depth at all entries will be a minimum of 4'0".

2.6 Colours

Colors will be approved on an individual basis. Colors will not be duplicated on adjacent lots or directly across the street. The use of a third accent color is required. This color may typically be used on the front door or may be used in combination of trim elements for the home. In keeping with the character of the neighborhood and in consideration of blended streetscapes, pastel colors are not permitted. Darker color palettes will dominate the streetscape. Lighter cladding colors may be used moderately in combination with darker palettes in contrast. No white siding will be allowed.

Only premium vinyl colours will be allowed. Darker, non-premium vinyl colours may be considered while taking into account a varied colour street scape and colour repetition.

2.7 Driveways and Garages

Front attached garage doors must be upgraded designer style to represent the proposed theme. The door must be the same color as the siding or alternatively may match the trim colour if appropriate to the style. The maximum distance between the top of the garage door and the garage eave line should not be more than 18". Where the design exceeds this requirement the use of additional architectural detailing to reduce the impact is required. Front attached garage door require glass panels. Gable ends will require appropriate detailing to soften the visual impact accordingly. Sunburst or other patterns will not be allowed. Corners of overhead door must be straight. Angled corners will not be permitted. Driveways are to be plain concrete, exposed aggregate, stamped concrete or paver stones in approved colour.

The driveway is not to exceed the width of the garage to the garage front where the width may then flare to include a walkway to the front of the home or to the rear yard. A deep tooled joint is recommended, a maximum of five feet into driveway from the existing concrete sidewalk or curb and gutter. In the event of any future repair, the deep cut will facilitate any settlement and make the maintenance repair appear more professional. Garages are to be located in accordance with the garage location plan as attached. The garage location plan is subject to change.

For homes with rear-detached garages, parking pads are required.

LANDSCAPING AND FENCING

3.1 Landscaping

One tree and sod are to be planted by the homeowner in the front yard where appropriate. Rear yard landscaping shall be completed with a minimum of sod. Where a semi-detached unit has a front attached garage, a minimum of one tree must be planted in that unit's rear yard. In addition, an edged shrub bed area of a minimum 75 sq. ft. is to be provided containing a minimum of 7 shrubs of 18" height or spread. The area adjacent to a front attached garage (generally 2') as the sidewalk follows the entry area shall also be landscaped with a shrub bed containing a minimum of 4 shrubs.

All xeriscape and synthetic turf proposals shall have prior approval before implementation. Additional beds, borders, and trees/shrubs will be required where alternate landscaping methods are proposed.

Landscaping is to be completed within 6 months of completion of the house or when weather permits. Seasonal allowances will be considered.

The trees are to be a combination of 2" calliper deciduous (leaf style) or 8' evergreen trees (spruce or pine). Measurement for calliper size will be taken 6" above the ground. Smaller sizes will not be accepted. Columnar spruce or pine is not allowed.

3.2 Fencing

Fencing in Walker is to be coordinated in both design and colour, and must be constructed according to the details attached.

SUBDIVISION APPEARANCE

4.1 Address Plaque

A standardized address plaque, as per the subdivision detail, is required for all homes in the subdivision. It shall be placed on the front of the garage in a visible location.

DISCRETION

Notwithstanding anything else set out in these guidelines, the Architectural Committee may apply their respective judgements when considering and approving anything regulate or controlled by these guidelines. In doing so, the Architectural Committee may provide waivers or relaxations to any matter set out in these guidelines in their sole and absolute unfettered discretion.

5.1 No Right to Enforce

Only the Architectural Committee may enforce the guidelines. No purchaser of a lot in Aurora may enforce these guidelines.

5.2 Right to Amend

The Architectural Committee may from time to time amend these guidelines as it sees fit in its sole and absolute unfettered discretion.

OTHER IMPORTANT GUIDELINES

6.1 Damages

The cost of repairs due to builder damages to existing features and utilities will be billed to the builder or deducted from the builder's security deposit and the builder will be invoiced for damages beyond what the security deposit covers. Builders must pre-inspect their lot for damages to services, walks or curbs and list any damages along with required pictures in writing to Melcor.

6.2 Sump Pumps

Weeping tiles should NOT be connected to the sanitary sewer. Weeping tiles should drain to a sump pump and the flows will be discharged to the surface by means of a sump pump. This configuration should comply with Municipal and Provincial standards.

6.3 Downspouts

Must be directed away from the house to streets or rear drainage structures, in accordance with City of Edmonton standards. Storm water must not be directed onto adjacent lots.

6.4 Retaining Walls

The builder is responsible for any retaining walls.

6.5 Footing Elevations

Builders are responsible for inspecting footing elevations.

Prairie

Overall Building Massing

Two storey or bungalow style will be permitted. The footprint is often L shaped. Roof slopes are to be low, 5/12 (recommend 4/12) or less with wide overhangs – generally 30” and deep fascia’s.

Roof Styles

Characterized by a simple hip or side gable roof.

Window Styles and Placement

Windows are large, organized and consistent in shape, often incorporating transoms. Windows are uncluttered by omission of grid patterns.

Stone or Brick Profiles

Brick is the most desired material for this style. Ledge stone is permitted. Both brick and stone are applied in panel effect. Brick is smooth, often applied with a rock face soldier course to emphasize the horizontal.

Exterior Cladding

Prairie style homes may be finished in smooth stucco or flat brick, often outlined with wood trim. Horizontal siding may also be used. Hardi Plank siding may be suitable.

Colors

Colors suited to the Prairie style are mid to dark earth tones with monochromatic or darker contrasting trims.

Defining Details and Entrance Treatment

Defining details are the horizontal presentation and simplified forms. The entry is typically recessed with side lights and is defined by approach. Entry doors are plain and may be oversized.

Craftsman Style / Arts and Crafts

Overall Building Massing

The Craftsman or Arts and Crafts style includes bungalows, 1½ storey and two storey designs with low pitched roofs. Roof overhangs are 1'6" minimum and 2'0" preferred. Verandas are integral and dormers emphasize the styling.

Roof Styles

Permitted roof styles include cottage and gable roofs either side to side or front to back combinations. Roof pitches are 5/12 or greater than 8/12 for Arts and Crafts with front facing inset gables.

Window Styles and Placement

Windows have a vertical orientation; double hung or divided panes with grills in the upper sash while the lower sash is plain. Window surrounds are simple. Windows should be ganged in pairs at minimum.

Stone or Brick Profiles

Brick, ledge stone and river rock are permitted and should be used on this style. Stone and brick may be applied at fireplace chases, columns, verandas and garages. Application in panel effect is discouraged. Stone tile is not an acceptable finish for this style.

Exterior Cladding

Craftsman style homes may be finished in smooth stucco, brick, Hardi Plank siding or shakes. More than one dominant finish is used on each elevation, applied horizontally and separated by a wide trim board. Trims are generally painted, stained or metal clad. Stucco clad trims may not be suited.

Colors

Colors suited to the Craftsman style include deep earth tones accented by heavy white / linen trims. Colors may be considered with tone on tone.

Defining Details and Entrance Treatment

Partial and full width verandas are a major element of the Craftsman style. Verandas often have a gable roof consistent in pitch and detailing with the main roof and typically supported by massive tapered columns. The columns may be full height or half height resting on the veranda deck or extending from roof to ground. The base will be larger than the post and likely tapered in stone, shakes or a painted finish. Dormers and inset gables are finished in shakes, exposed beams or angle braces. Entry doors are simple in styling and include small glass panes.

Heritage Style

Overall Building Massing

All model types are included with an emphasis on grounded proportions where the eye is drawn to the street level. Roof slopes are moderate to high at 7/12 or greater. Roof overhangs are minimum 1'6" at moderate pitch and minimum 12" at higher pitch.

Roof Styles

Permitted roof styles include hip or side to side and front to back gables. Front facing gables are clad in siding or shakes and are defined by shadow bands at the eaves.

Window Styles and Placement

Windows have a vertical orientation and may include rectangular or elliptical transoms. Grills are installed in the entire pane or upper third. Heavy wood surrounds frame all openings.

Stone or Brick Profiles

Stone and brick are applied in a panel effect or as a substantial accent. When applied as an accent the top edge is finished with a soldier course or heavy step trim. Stone details should include base of columns and verandas. River rock is well suited. Stone tile is not appropriate.

Exterior Cladding

May be finished in smooth stucco, brick/stone, Hardi Plank siding or shakes. A combination of finishes is commonly used. Trim and surrounds on stucco clad models are painted and not stucco clad. All siding profiles must be lap board style.

Colors

Colors suited to the Heritage style include deep earth tones accented by contrasting heavy trims. White and light cladding colors are not suitable.

Defining Details and Entrance Treatment

Entrances are covered at a level that encloses and protects the space, at the first level or at a proportionate height. The style, width and detailing of the entranceway creates a sense of arrival. Verandas are common. Columns are solid and substantial with wide base or step detail top and bottom. Glass lights in traditional styling are commonly included at the overhead door. Entry doors are simple and often include square glass panes. Style definition borrows heavily from the Craftsman style with shakes, shutters and gable braces.

Tudor

Overall Building Massing

Tudor style homes are typically 2 storey models asymmetrical in elevations. Roof slopes are steep with front facing gable at a pitch much higher than the main roof. Feature gables may include a dramatic sweeping fascia line tied into a covered entry. Overhangs are shallow.

Roof Styles

Roof styles may include cottage and gables with either side/side or back/front orientation. Side gables and cottage roofs are dominated by one or more front facing gables that intersect. Homes often have more than one front facing gable with the pitch at this roof much steeper than the main roof.

Window Styles and Placement

Windows are vertical casements or double hung sash with divided panels and grids in rectangular or diamond patterns. Windows should be paired or ganged. Windows in an octagon shape may be featured.

Stone or Brick Profiles

Brick and ledge stone are permitted and must be a component of this style. Brick and stone are to be applied in a panel effect and quoining and soldier course details common. Full brick fireplace chases and chimneys are prominent features.

Exterior Cladding

Acrylic, smooth and knock down stucco, hardboard siding and Hardi Plank siding are permitted for the Tudor style.

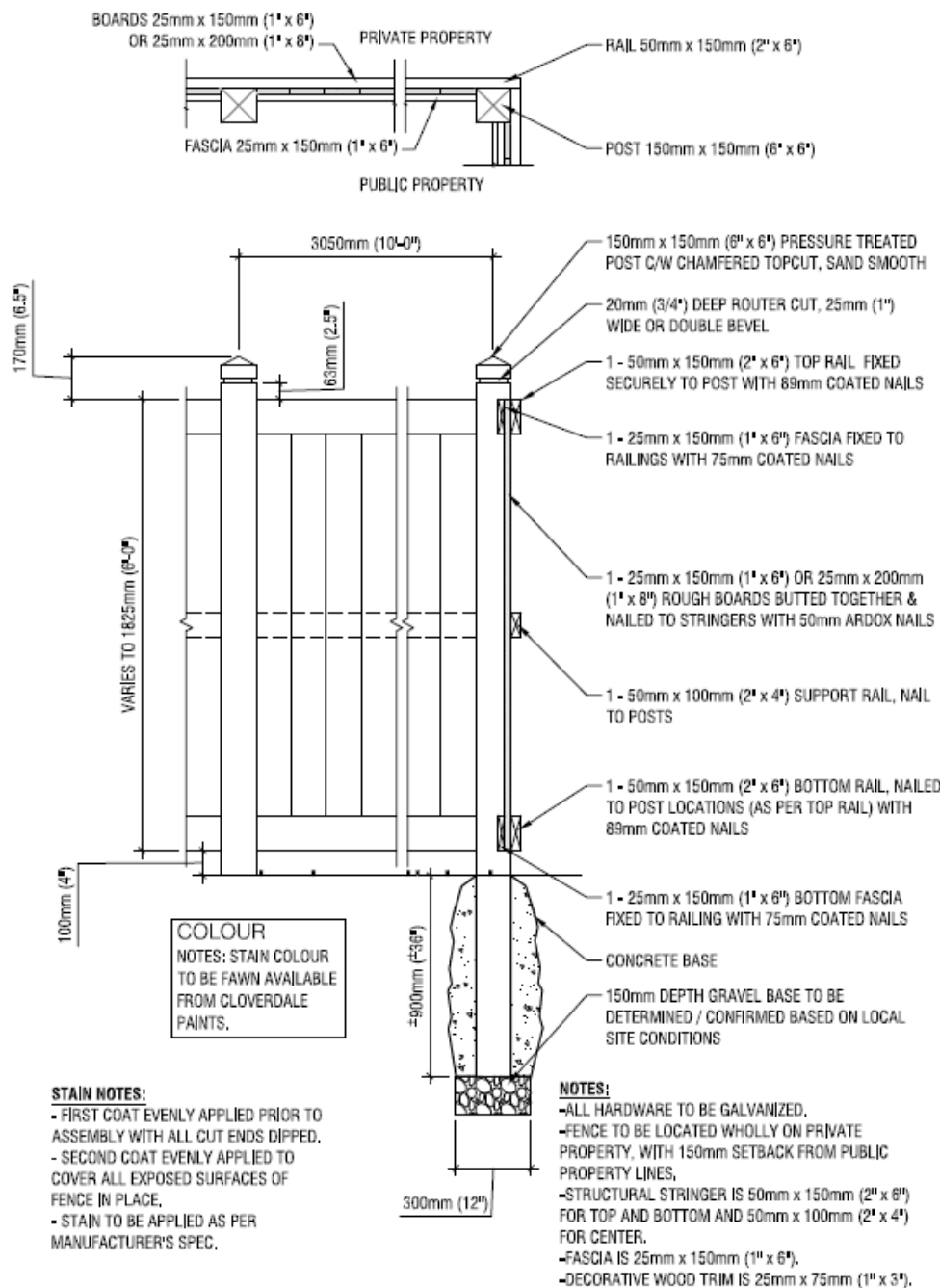
Colors

Color combinations are contrasting. Cladding colors are of lighter earth tones and white and off-white with dark brown or black fascia and wood trims. Brick/stone colors are earth tones and reds.

Defining Details and Entrance Treatment

A centered or extended steep front gable often emphasizes the front entry, which is recessed. Extensive battens in steep sloping gable ends with shallow overhangs are defining characteristics. Shutters, window grills and foundations clad in brick/stone are typical.

Schedule - Fencing Details



WOOD SCREEN FENCE DETAIL

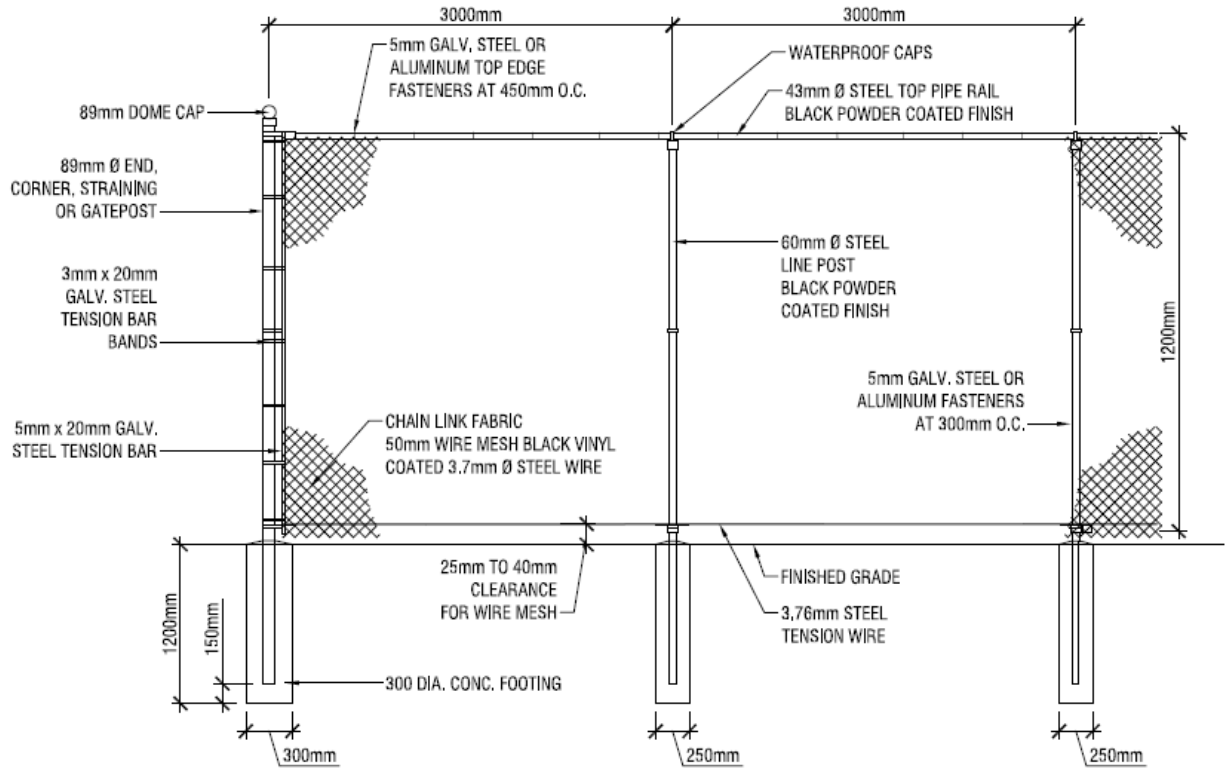
NOTES:

FENCE TO BE LOCATED WHOLLY ON PRIVATE PROPERTY, WITH 150mm SETBACK FROM PUBLIC PROPERTY LINES.

ALL FABRIC TO BE GALVANIZED C/W BLACK PVC COAT.

ALL STEEL POSTS, RAILINGS, FASTENERS AND FITTINGS TO BE GALVANIZED WITH BLACK POWDER COAT OR DURABLE BLACK PAINT FINISH SUITABLE FOR EXTERNAL CONDITIONS.

GRADE CAN VARY.



CHAIN LINK FENCE DETAIL

Attachment 2 – Map

