

King's  Heights

# ARCHITECTURAL GUIDELINES

JULY 2013  
UPDATED OCTOBER 2016



**MELCOR**  
DEVELOPMENTS LTD.



## TABLE OF CONTENTS

<b>1.</b>	<b>INTRODUCTION</b>	<b>3</b>
1.1	Background and Location	3
1.2	Architectural Guidelines	4
<b>2.</b>	<b>GENERAL RULES</b>	<b>5</b>
2.1	Land Use and Zoning Regulations	5
2.2	Minimum Floor Area	6
<b>3.</b>	<b>SITE PLANNING</b>	<b>7</b>
3.1	House Placement	7
3.2	Maximum Side Yard	7
	3.2.1 INTERIOR LOTS	7
	3.2.2 AMENITY LOTS	8
	3.2.3 CORNER LOTS	8
	3.2.4 FRONT SETBACKS	8
	3.2.4.1 HOMES ON LANELESS LOTS	8
	3.2.4.2 LANED SEMI-DATACHED HOMES	8
3.3	Lot Grading	9
<b>4.</b>	<b>ARCHITECTURAL DESIGN</b>	<b>10</b>
4.1	Proposed Housing Product	10
4.2	Architectural Style	11
	4.2.1 CRAFTSMAN	11
	4.2.2 TUDOR	12
	4.2.3 PRAIRIE	13
4.3	Repetition	14
4.4	Building Forms and Massing	14
	4.4.1 GARAGES	14
	4.4.1.1 HOUSE : GARAGE RATIO	15
	4.4.1.2 GARAGE PROJECTIONS	15
	4.4.1.3 LIVING AREA OVER GARAGE	15
	4.4.2 SEMI-DETACHED HOMES	15
	4.4.3 ROOF DESIGN AND PITCH	15
	4.4.4 FRONT PORCHES	16
	4.4.5 COLUMNS	17
	4.4.6 EXPOSED ELEVATIONS	17
	4.4.6.1 CORNER LOTS	18
	4.4.6.2 REAR ELEVATIONS	18
	4.4.7 EXTERIOR DECKS	19
	4.4.8 CHIMNEYS	20
	4.4.9 DRIVEWAYS	20
	4.4.9.1 TRIPLE GARAGE/PIE LOT DRIVEWAYS	21
	4.4.9.2 SEMI-DETACHED DRIVEWAYS	21
	4.4.10 SIDEWALKS	21
	4.4.11 RETAINING WALLS	21



**TABLE OF CONTENTS**

<b>5.</b>	<b>BUILDING MATERIALS</b>	<b>22</b>
5.1	Primary Wall Materials	22
5.2	Secondary Wall Materials	22
5.3	Masonry	22
5.4	Trim, Fascia and Soffits	22
5.5	Windows	23
5.6	Roofing	23
5.7	Entry Doors	24
5.8	Garage Doors	24
5.9	Railing	25
5.10	Front Steps	25
5.11	Exterior Lighting	25
5.12	Exterior Colours	25
<b>6.</b>	<b>ADDITIONAL REQUIREMENTS</b>	<b>26</b>
6.1	Environmental Initiatives	26
6.2	Satellite Dishes	26
6.3	Air Conditioning Units	27
6.4	Recreation and Commercial Vehicles/Equipment	27
<b>7.</b>	<b>LANDSCAPING</b>	<b>28</b>
7.1	Completion of Landscaping	28
	7.2.1 REAR YARD FENCING	28
	7.2.2 SIDE YARD FENCING	28
	7.2.3 DOG RUNS	28
7.3	Fire Pits and Outdoor Fireplaces	29
7.4	Ancillary Structures	29
<b>8.</b>	<b>APPROVAL PROCESS</b>	<b>30</b>
8.1	Required Information for Architectural Approval	30
8.2	Approval Processing	30
8.3	Schedule of Applicable Fees	30
8.4	Initial Lot Inspection	30
<b>9.</b>	<b>CONSTRUCTION REGULATIONS</b>	<b>31</b>
9.1	Material and Equipment Storage	31
9.2	Use of Site	31
9.3	Vehicles and Parking	31
9.4	Other Notes	31
<b>10.</b>	<b>DISCRETION</b>	<b>32</b>
10.1	No Right to Enforce	32
10.2	Right to Amend	32
10.3	No Trespassing	32
<b>11.</b>	<b>CONTACTS</b>	<b>33</b>
	<b>APPENDIX A: APPROVED SIDING COLOURS</b>	<b>34</b>
	<b>APPENDIX B: FENCING DETAILS</b>	<b>37</b>





# 1. INTRODUCTION

## 1.1 Background and Location

King's Heights is a residential community located on the southern edge of the City of Airdrie Alberta, east of Highway 2 with direct access via Yankee Valley Boulevard. King's Heights offers a variety of housing types ranging from multi-family condos, townhouses, semi-detached housing and single detached housing. Kingsview Market is an in-community commercial centre located in the northeast corner of King's Heights which provides residents convenient access to essential stores.

These Architectural Guidelines have been specifically prepared for:

Phase 16 - 114 single family/semi detached residential lots, zoned R-1N and R-2

Phase 18 - 158 single family residential lots, zoned R-1N and R-1S

Phase 19 - 99 single family residential lots, zoned R-1N and R-1S.

Phase 21 - 62 single family/semi detached residential lots, zoned R-1, R1-U and R-2

Phase 22 - 72 single family/semi-detached residential lots zoned R1., R1U & R2

All homes in King's Heights are expected to display a high level of architectural standards and detailing.



## The 1.2 Architectural Guidelines

The Architectural Guidelines have been prepared to promote a high level of architectural detail, ensure a pleasing building form, and promote an awareness of environmental sustainability. Homeowners and designers are to use these Architectural Guidelines as a guide when planning their new home. The Architectural Guidelines have been written in a definitive manner with multiple examples which will allow creativity and create harmony and continuity in home design within the community.

By utilizing three traditional housing styles, the community will maintain interest and appeal. The approved architectural styles for King's Heights will be Tudor, Prairie and Craftsman. Houses styled after other traditional themes may be considered by the Architectural Coordinator.



## 2. GENERAL RULES

The Architectural Coordinator will complete a review of all house plans to ensure compliance with the Architectural Guidelines. An “Approved” stamp will be provided by the Architectural Coordinator on the elevation drawings and site plan upon final approval. The builder must bring the approved stamped plans when submitting for a development permit and building permit at the City of Airdrie.

All construction must comply with the current City of Airdrie Land Use Bylaw and Alberta Building Code. Construction may only begin upon receipt of a Building Permit from the City of Airdrie and a Grade Slip from the Architectural Coordinator which is prepared by the Consulting Engineer. Conformity with the Guidelines does not supersede the required City of Airdrie approval process.

### 2.1 Land Use and Zoning Regulations (revised October 2016)

The community of King's Heights contains the following zoning districts:

- R-1S - Residential Single Dwelling Small Lot District (B-09.2005)
- R-1N - Residential Single Dwelling Narrow Lot District (B-09/20005)
- R-1 - Single Detached Residential District (B-01/2016)
- R1-U - Urban Standard Residential District (B-01/2016)
- R2 - Low Density Residential District (B-01/2016)

All homes are to be designed in conformance with the City of Airdrie Land Use Bylaw, in particular section 4-1, General Regulations for Residential Districts and the appropriate zoning requirements. For reference, these sections of the Land Use Bylaw have been attached in Appendix B of these Architectural Guidelines. The lot zoning is as follows:

Phase 16	Phase 19	Phase 22
(R2) Block 27 Lots 1-10	(R-1S) Block 27 Lots 15-30	(R-1) Block 29 Lots 41-59
Block 29 Lots 77-90	Block 27 Lots 32-45	(R-1U) Block 30 Lots 1-36
Block 29 Lots 92-123	(R-1N) Block 27 Lots 9-14	(R2) Block 29 Lots 60-76
(R1-U) Block 27 Lots 11-31	<b>Block 27 Lots 46-70</b>	
Block 28 Lots 1-37	<b>Block 29 Lots 1-5</b>	
Phase 18	<b>Block 29 Lots 7-39</b>	
(R-1S) Block 28 Lots 41-54	<b>Phase 21</b>	
Block 28 Lots 56-71	(R-1) Block 29 Lots 14-41	
Block 29 Lots 1-10	(R1-U) Block 30 Lots 37-42	
(R-1N) Block 14 Lots 54-72	(R-2) Block 30 Lots 48-75	
Block 27 Lots 1-8		
Block 28 Lots 1-40		
Block 28 Lots 72-122		



## 2.2 Minimum Floor Area (revised October 2016)

The Developer has established the following minimum floor area King's Heights. This minimum floor area is for total floor area above grade and does not include attached garages or any basement floor area.

(R-1S) Two Storey: Minimum 1500 ft<sup>2</sup>  
Bungalow: Minimum 1200 ft<sup>2</sup>

(R-1) Two Storey: Minimum 1500 ft<sup>2</sup>  
Bungalow: Minimum 1200 ft<sup>2</sup>

(R-1N) Two Storey: Minimum 1400 ft<sup>2</sup>  
Bungalow: Minimum 1200 ft<sup>2</sup>

(R1-U) Two Storey: Minimum 1400 ft<sup>2</sup>  
Bungalow: Minimum 1200 ft<sup>2</sup>

(R-2) Two Storey: Minimum 1200 ft<sup>2</sup>  
Bungalow: Minimum 1000 ft<sup>2</sup>





### 3. SITE PLANNING

#### 3.1 House Placement

Builders and Designers are to choose home designs based on the grading and site topography in order to take full advantage of views and to maximize lot space. Designers should take into consideration the lot width, length and shape as houses should be conforming to these dimensions. Designers are to review the Building Grade Plan and Marketing Plan prior to home design to ensure that the proposed home is compatible with the desired lot.

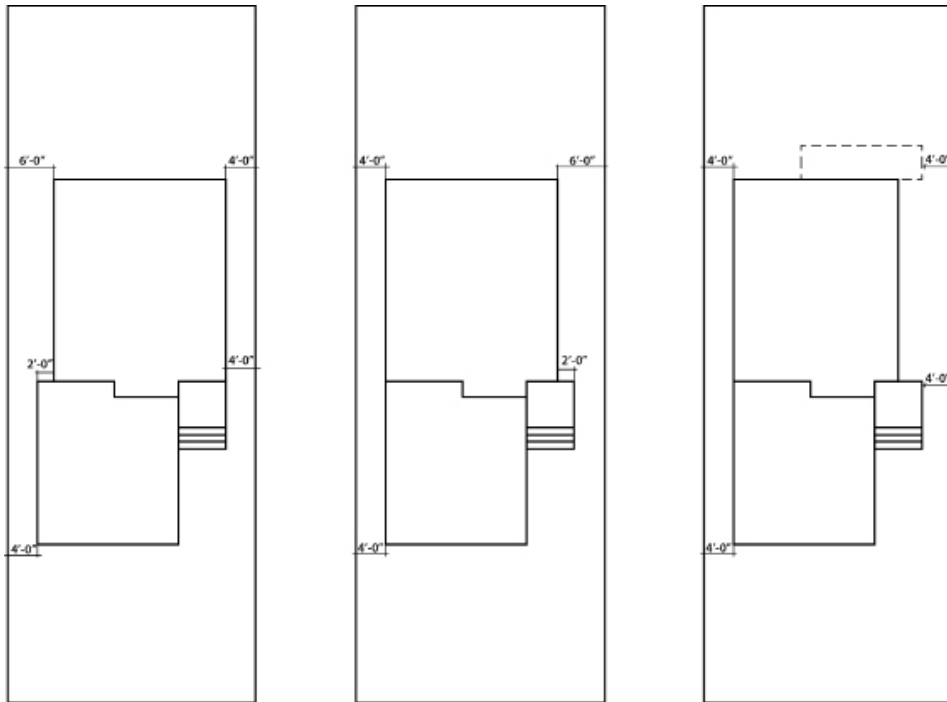
#### 3.2 Side Yards & Setbacks (revised Jul/15/2015)(October/2016)

##### 3.2.1 INTERIOR LOTS

The preferred combined side yard for all interior lots will be 8'-0" (2.44m) (ie. a 26'-0" dwelling on a 34'-0" lot) This distance will be measured from the side property line to foundation wall on both the front and the rear of the dwelling.

The Developer will permit a maximum combined side yard of 10'-0" (3.05m) (ie. a 24'-0" dwelling on a 34'-0" lot) for all interior lots, providing that one of the following conditions has been met;

- 2'-0" (0.61m) garage offset must be provided (Refer to Example A)
- 2'-0" (0.61m) porch extension must be provided (Refer to Example B)





### 3.2.2 AMENITY LOTS

The preferred combined side yard for all amenity lots will be 8'-0" (2.44m) (ie. a 30'-0" dwelling on a 38'-0" lot). This distance will be measured from the side property line to foundation wall on both the front and the rear of the dwelling.

The Developer will permit a maximum combined side yard of 10'-0" (3.05m) (ie. a 28'-0" dwelling on a 38'-0" lot) for all amenity lots, providing that one of the following conditions has been met;

1. 2'-0" (0.61m) garage offset will be provided (Refer to Example A) or
2. 2'-0" (0.61m) porch extension must be provided (Refer to Example B)

The developer will permit a maximum combined sideyard of 12'-0" (ie. a 26'-0" dwelling on a 38'-0" lot) for all amenity lots, providing that the following conditions have been met;

1. Both the front porch and the rear deck are extended out on the entry side of the home to fill the lot to the minimum sideyard (Refer to Example C)

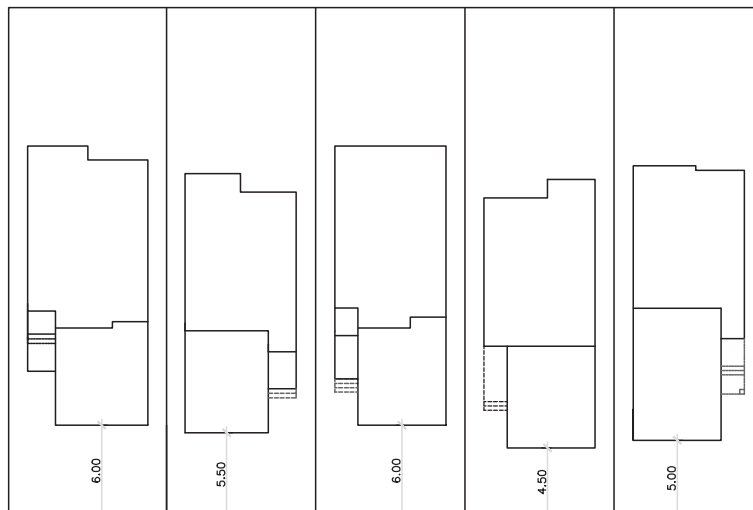
### 3.2.3 CORNER LOTS

Homes are to take advantage of corner lots and fully utilize the lot width available. This will require:

- A wraparound porch wherever house width permits - minimum 3'-0" width of porch and minimum 3' wrap around corner (See 4.4.4) **OR**
- Extend rear deck and wrap minimum 3' around corner

### 3.2.4 FRONT SETBACKS (revised October 2016)

- The front setbacks of all homes in King's Heights will be varied to provide additional interest to the streetscape.
- 3.2.4.1 Homes on laneless lots will be sited with a minimum of a 4.5M setback and varied dependant on adjacent sitings and overall massing of the home.
- 3.2.4.2 Laned semi-detached homes will be permitted setbacks to the minimumcity requirement of 3.5M (to the porch/steps) with variances of up to 1.5M along the street.



### 3.3 Lot Grading

Lot grading must be in compliance with the City of Airdrie Lot Grading Bylaw B-34/2007. Lot grading must follow the natural slope of the land and is to be consistent with the subdivision grading plan. Builders should give due consideration to building grades when determining house types in order to assure that an appropriate house is located on each homesite. Lot slopes should be absorbed within the building massing as much as possible. In relation to lot grading, builders and designers are to ensure that:

- Drainage patterns created on the homesites to ensure surface water is channeled away from the house on all sides and into adjacent drainage swales.
- All of the corner and intermediate elevations, as established by the development engineer, be maintained exactly as specified. Maximum permitted front, rear or side yard slope is 33%, however, builders are encouraged to stay within a 3% - 25% slope.
- The lot grades create a drainage pattern, as indicated on the “grade plan”, and must be maintained. Site drainage must be established prior to commencing construction and maintained by the builder throughout the construction period.
- **The use of a retaining wall may not be used in order to artificially raise or lower the suggested grades on any lot.**



## 4. ARCHITECTURAL DESIGN

### 4.1 Proposed Housing Product (revised October 2016)

The proposed housing product will be Craftsman, Tudor and Prairie styled designs.

All homes in King's Heights are expected to have a high level of architectural detailing and adequate massing.



R-1S



R-1N



R-2 LANELESS



R-2 LANED





## 4.2 Architectural Style

### 4.2.1 CRAFTSMAN

The predominant characteristics of the Craftsman style are moderate pitched roofs, unenclosed eave overhangs, exposed rafter tails, dormers, chimneys, decorative (false) beams under gables, and porches supported by square large columns.

Siding and trim colours should be inspired by natural surroundings and should complement the natural materials used on the home. A base is essential on columns for this style to ground the home to add a presence of stability.

The style of this home should represent its surroundings so massing and materials must be deeply considered. Elements like brackets, blocks, false trusses and exposed rafter tails are encouraged to give the presence of solidity.

#### Typical Design Elements

- A variety of articulation within wall lines
- Cross gable roofs
- Use of stone or brick and natural materials (Shake, siding, clapboard)
- A high level of architectural detailing on doors, windows and gables
- Dormers with either a gable or shed roof
- Multiple window panes
- Beams or triangular knee brackets
- Full height chimneys (commonly clad in stone)
- Tapered columns with a supporting larger base
- Window Boxes
- Dark rich colours with contrasting trim





### 4.2.2 TUDOR

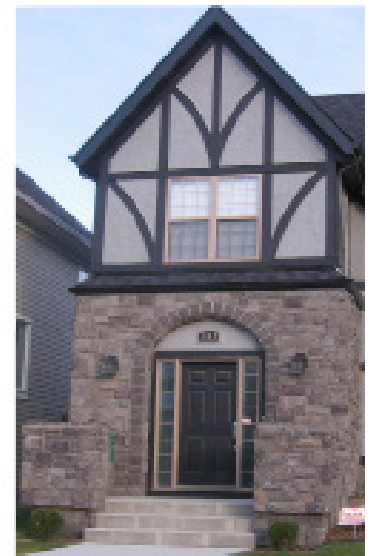
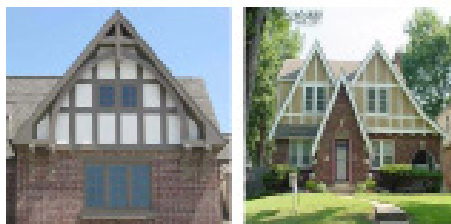
The identifying characteristics of the Tudor Style are steep-pitched roofs, usually side gabled, small covered arched porches, stone clad chimneys, ½ timbering and the extensive use of trim and battens.

Massing should be asymmetrical to offer various roof lines and heights, roofing should have one predominant front-facing gable, often extending down to main levels. Trim and batten work must be considered. Trim is often used in the gables and above and below windows with symmetrical patterns.

Casement and single-hung windows are most common to the style, and small transoms may also be added above main windows.

#### Typical Design Elements:

- Tall narrow window groupings with small window panes
- Extensive use of trim and battens
- Steep roof pitches with prominent cross gables
- Extensive stone work
- 1/2 timbering
- Portico with covered entry
- Contrasting colours used on siding and trim



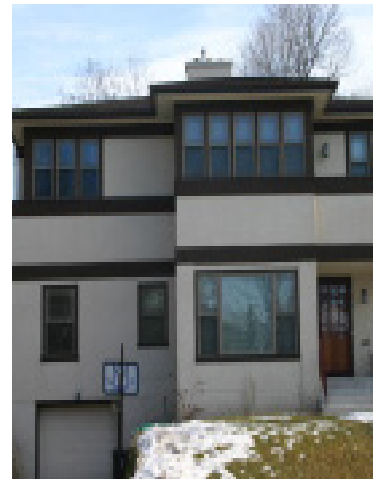
### 4.2.3 PRAIRIE

Prairie style houses have strong characteristics of low horizontal lines and open interior spaces. The gently sloping roofs and low proportions are reminiscent of the landscape of the prairies.

The identifying features of a Prairie house are low-pitched hipped rooflines, wide overhanging eaves, two storey elements with one storey wings or porches, repetitive ribbon windows, roof dormers, large square porch supports and façade detailing that emphasizes horizontal lines. Alternate materials of panelling or vertical siding are common on the upper floor levels to create horizontal banding.

#### Typical Design Elements:

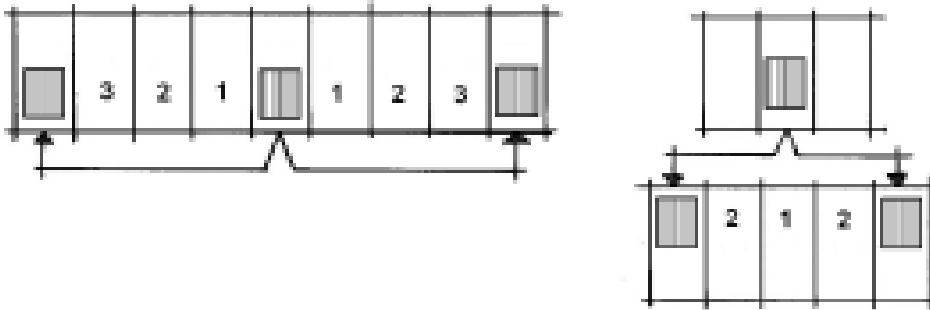
- Low sloped hipped rooflines
- Wide overhanging eaves
- Repetitive ribbon windows
- Roof dormers
- Large square porch supports
- Smooth masonry or stone work



### 4.3 Repetition

Three architectural styles have been chosen to allow enough variety for the consumer to pick the home of their choice in a number of different front elevations provided by the builders. Repetition of the architectural styles may be limited to ensure enough variation in the proposed streetscapes.

Identical or near identical elevations and exterior colours may not be repeated more often than every fourth (4th) home on the same side of the street and every third (3rd) home on the opposite side of the street. This may be altered at the discretion of Architectural Coordinator if it can be shown that the two elevations in question are located so as not to be visible together from any angle. While similar house plans and elevations are inevitable, it is possible to vary the design by changing exterior elements. If it is felt that the adjacent houses are too similar the Architectural Coordinator will request the applicant to make design changes. There must be a significant change in features, such as roof type, size and location of windows and doors, colours, and finish materials. A change of materials alone and reversing the plan is not sufficient.



### 4.4 Building Forms and Massing

#### 4.4.1 GARAGES (revised October 2016)

Laneless single family homes will require an attached double front drive garage as a minimum. The attached garage should reflect and complement the overall massing and proportion of the home and not dominate the streetscape.

If a triple car garage is used, at least one of the bays of the garage must be offset from the other bays. This offset should be a minimum of two feet and the roof line of this bay should be offset to provide articulation and to enhance the overall garage design.

Laneless semi-detached homes will require either single or double attached front drive garages.

Laned semi-detached homes will have detached rear garages only.

The garage location will be noted on the Building Grade Plan and the subdivision Marketing Plan and builders are to use the garage location as shown. Side drive garages may be permitted at the discretion of the Architectural coordinator. If a side drive garage is chosen, the garage should stay in the same side of the lot that it was intended to be on so it does not impede the view out of the front of neighbouring homes.

Garages will generally be paired with the neighbouring homes unless noted otherwise on the marketing map.



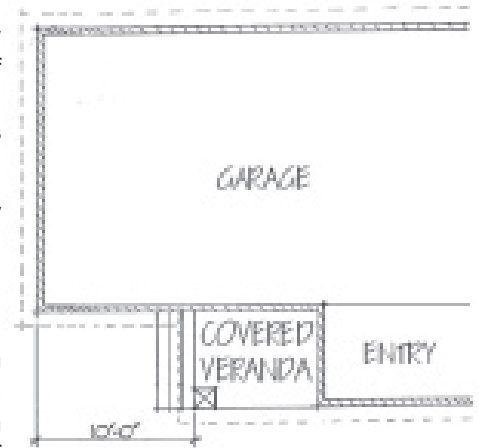
#### 4.4.1.1 House: Garage Ratio

All homes that are zoned (R-1S) will be subject to section 4-3(8)(c) of Bylaw B-09/2005 which states that the ratio between the front face exposure of the garage and the remainder of the front of the principal building shall not exceed 2:1. All homes that are zoned (R-1N) will not be subject to this requirement.

Homes zoned R1, R1-U & R2 will be subject to section 7.12 of Bylaw B-0112016 regarding maximum front attached garage widths.

#### 4.4.1.2 Garage Projections (Mar/16/2015)(October 2016)

In order to reduce the visual impact of a front drive garage, close attention will be paid to the architectural design of the front elevation and the design of the front entryways. One method is to bring the front entryway or porch as far forward as possible, without adversely affecting the interior layout of the home.



For all R-1S & R1 homes, it is encouraged that the distance from the front of the garage to the front entry be minimized. Where this distance exceeds 10', additional detailing (windows, battens, masonry) will be required.

For all R-1N, R1-U & R2 homes, it is a **MANDATORY** requirement that the distance between the front face of the garage and the front entry porch does not exceed 10'-0". This will help make the garage compliment the design of the home and not look like an addition to the home.

Should the siting of the home present restrictions in meeting this requirement, the distance may be permitted to be exceeded and additional detailing along the garage wall such as a window, or batten detailing will be required.

#### 4.4.1.3 Living Area Over Garage

Living area over the garage will be encouraged in King's Heights but are not permitted to cover the entire depth of the garage. Designers will be asked to reduce the visual impact of the upper floor through the use of rooflines and battens. Materials that are applied to the front of the bonus room must return along the side wall of the garage to the entry.

#### 4.4.2 SEMI-DETACHED HOMES

The massing of semi-detached homes will be required to provide the appearance of a larger single family home rather than 2 individual units side by side. Unit pairs are to be offset from each other front to back by a minimum of 2'-0".

#### 4.4.3 ROOF DESIGN AND PITCH

The roof pitch and overhang should match the chosen architectural style. All main roof slopes in will require a minimum 6/12 roof pitch unless a Prairie style where a lower pitch is acceptable.

All gable elements facing the street shall have a minimum of 8/12 pitch on Tudor style homes.

When possible, an effort should be made to incorporate upper floor living into the main roof to give an appearance of a storey and a half. This can be achieved with interesting roof designs that do not forfeit upper floor living area.

- Overhangs on all roof configurations shall be a minimum of 18" to a maximum of 24"





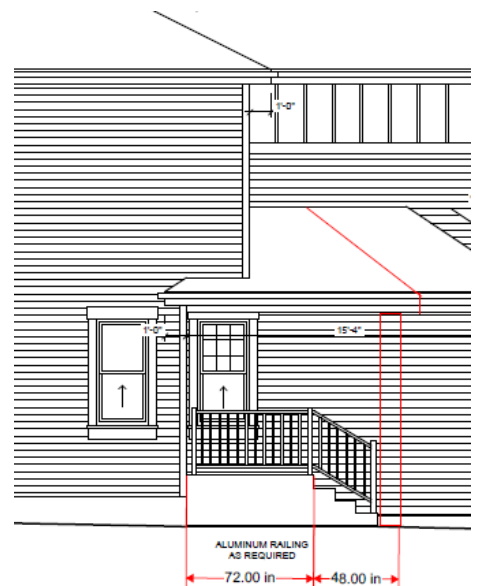


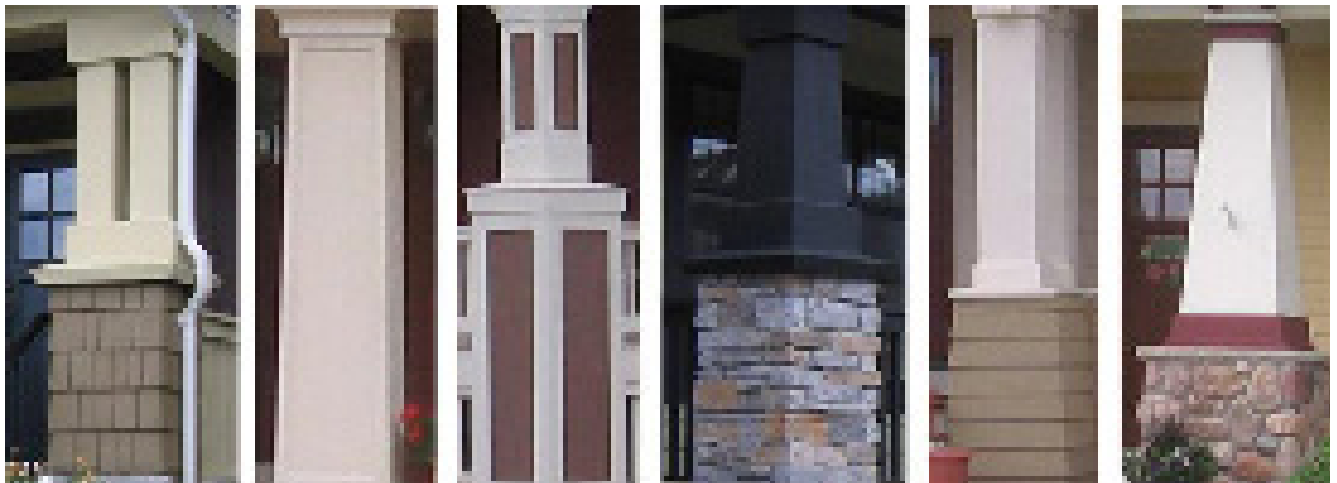
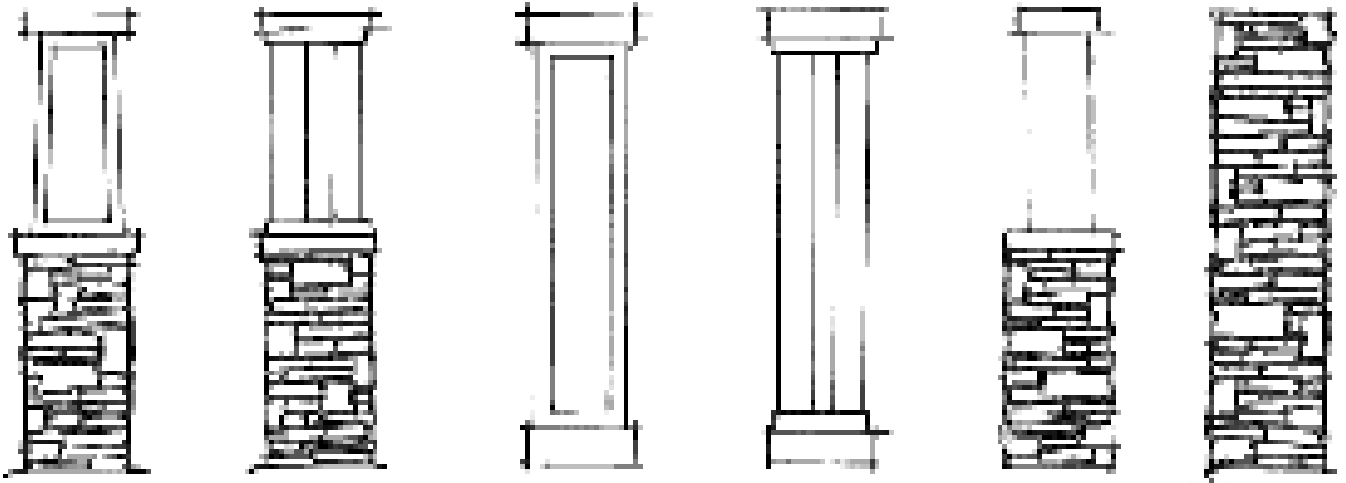
**4.4.4 FRONT PORCHES (revised Jul/15/2015)(October 2016)**

All homes shall incorporate a front porch into their designs to integrate with the streetscape to provide a more pedestrian friendly environment. The use of a porch on front attached garage home will also help reduce the distance from garage face to front entry. Laned semi-detached homes will require full width porches on the front facade. To ensure the functionality and correct massing a minimum depth of 6 feet will be required for all porches. Rooflines & detailed gables must project past the landing with a minimum distance of 4'-0" from the front side of the landing to the front side of the post.

The underside of the porch is to be screened in an appropriate and complementary material so that the underside of the porch is not visible. Lattice will not be permitted, Stone, Brick, Paneling, Board & Batten or shake are permitted as skirting.

When the lots have extra width available to them a wraparound porch or extended width porch is required. This is required to maximize the use of the available lot spacing. This is especially important on reverse pie shaped lots where the front is significantly wider than the rear of the lot, corner lots and the larger 36' and 38' amenity lots. A wraparound porch should return at least 3' from the foundation corner, while an extended porch should have a depth of at least 6 feet.





#### 4.4.5 COLUMNS

All columns must be boxed out in decorative material and be a minimum size of 12"x12". They should have structural integrity and show a rich level of detailing to reflect the selected architectural style of the home. Columns are not required to have a masonry base, if a base is selected it must be at least 3 feet in height from the top of the porch floor and extend to the grade in all cases. Minimum columns are to have an 8" top and bottom cap with relief panel and trim.

Columns must have crezone or smartboard panel detailing - siding not permitted on columns.

#### 4.4.6 EXPOSED ELEVATIONS

An exposed elevation will be considered as any elevation that faces onto a; street, park, green space, open space, pathway, municipal reserve, environmental reserve, amenity space, storm ponds, commercial developments, apartment/condo buildings. Sales and design teams are asked to verify their lots to the marketing map for site furniture and possible exposed elevations.



#### 4.4.6.1 Corner Lots

Corner lots require additional treatment to the street side elevations to the same extent as the front elevation. Rear elevations on corner lots flanking a street must have full treatment consistent to the front elevation. Sales and design teams must take this into account when working with home buyers as this will not be relaxed at any time. Corner lots must be well articulated with various architectural elements appropriate to the selected architectural style and extra attention must be paid to the massing and detailing of the porch.

The proper house design for corner lots would be a bungalow or storey and a half with living space built into the roof system. Elements include; box outs, chimneys to grade, additional windows, detailed trims to match front elevation, shadow bands, belly boards, corner boards, rooflines, gables with secondary materials, porch or verandas that wrap around from the front of the house.

When a two storey home is proposed on a corner lot extra attention will have to be paid to the bonus room above the garage. A full height chimney will be suggested as well as roof plans that wrap around the building face. If a full height chimney does not suit the design, an alternative detail may be approved and will be at the discretion of the Architectural Coordinator.



#### 4.4.6.2 Rear Elevations

Homes that have an exposed rear elevation in King's Heights will require a rear elevation that is designed to the same extent as the front elevation. Builders are to ensure these rear elevations are consistent with the front elevation. Decks must be built at the initial time of construction and must be shown on the building plans.

Clear three storey elevations and large exposed flat walls will not be permitted. There needs to be articulation in the wall heights to help ground the building. Designers will be required to articulate rear elevations on walkouts to reduce the massing, which can be accomplished by staggering the upper floor or by adding different roof elements between the main and upper floor.





#### 4.4.7 EXTERIOR DECKS (revised Apr/14/15)

All walkout homes regardless if they are visible from the street or not will require a deck that must be on the plans and built at the initial time of construction. At minimum all walkout decks will require;

- Supporting columns are to be built out to 12" x 12" extending from grade to the underside of deck.
- Cap and base of the columns must be architecturally detailed and built out.
- Underside of deck must be finished with aluminum, wood or a composite soffit.
- The main beam and rim joist must be clad in smartboard or an approved equivalent.

Decks that are considered to be on an exposed elevation will require at minimum 12" x 12" built out columns extending from grade to underside of the deck. These columns are to be consistent with the front elevation and must be clad in masonry. The columns base is to be at least 4 feet in height.

Decks that are less than four feet above grade must be skirted in smartboard or an approved equivalent with a trim detail. **Lattice is not permitted as a skirting material.**

*\*Please Note, In phase 19, the builders will only be required to construct decks on walkout lots. This relaxation includes non-walkout lots with exposed rear elevations.*







#### 4.4.8 CHIMNEYS

Chimneys must be finished to match the exterior wall material. Stone or brick finishes on chimney chases are highly recommended on all homes. On corner lots builders should bring the chimneys down to grade. All chimney flues must be boxed in with the same finish as the main body of the home.

#### 4.4.9 DRIVEWAYS (revised Jan/14/2015) (October 2016)

Driveways in King's Heights shall be constructed with broom finished concrete as a minimum. It is encouraged that driveways be detailed with borders or inset patterns utilizing exposed aggregate, patterned concrete or pavers.

##### 4.4.9.1 Triple Garage/Pie Lots Driveways (October 2016)

To ensure an attractive streetscape, lots with triple car garages or pie lots where the driveways converge together are required to have 24" borders of exposed aggregate or stamped concrete along each side of the driveway. This will include the following lots:

- Phase 18B: Block 28, Lots 70 - 76
- Phase 19: Block 27, Lots 13-15, 23-25, 44-46, 53-56
- Phase 16A: No lots
- Phase 21: No lots
- Phase 22: Block 29, Lots 49-52, 58, 59 Block 30, Lots 23-26

#### 4.4.9.2 Semi-Detached Driveways

Driveways between front drive semi-detached homes are to be paired to allow for landscaping and on-street parking between the buildings.

Driveway width on all front drive garage semi-detached homes is limited to the width of the garage only and where there is an oversized single car or double car garage the driveway shall either

Taper down to a single car driveway width at the street OR

Provide a 2' decorative concrete border leading up to the front entry walkway.

The following details for driveways are minimum requirements and alternatives:

- Desirable driveway slopes are between 3% and 7%
- Maximum driveway slope is 10%; minimum is 2%
- Driveways must be the width of the garage but may taper to be narrower at the street.
- The use of permeable driveways is encouraged and will be approved at the discretion of the Architectural Coordinator.

#### 4.4.10 SIDEWALKS

- Sidewalks for homes in King's Heights are to consist of the same material as the driveway and are to be poured concurrent with the driveway.
- Sidewalks must be a minimum of 4 feet in width.

#### 4.4.11 RETAINING WALLS

Where retaining walls are required, it is recommended that they are constructed using natural materials (i.e. sandstone boulders, rundle rock or river rock (mortar)). Retaining walls not constructed from natural materials should be constructed with a visually aesthetic material (i.e. decorative concrete, or concrete with a stone or brick facing). Concrete wing walls will be acceptable when not visible from the street, but they require Architectural Design Approval.

Retaining walls will be limited to a height of 4 feet (1.22 meters). All retaining structures must be within property lines. Any retaining wall exceeding 1.00 metre in height MUST be approved by a professional engineer and may require a development permit.



## 5. BUILDING MATERIALS

### 5.1 Primary Wall Materials (revised Apr/14/15)

Vinyl siding in a premium dark colour will be the recommended standard in King's Heights. Houses in a standard siding colour may require an increased amount of secondary material, which will be determined at the time of a preliminary approval. Vinyl siding must be a traditional lap profile. **Dutch lap vinyl siding will not be permitted.** Composite siding will be approved and considered an upgraded finish. Stucco in a smooth finish will be considered and upgrade and may be approved at the discretion of the Architectural Coordinator. Any alternate exterior cladding materials need to be submitted for review to the Architectural Coordinator.

### 5.2 Secondary Wall Materials

Secondary wall materials and colours are **required on the front and exposed side and rear elevations of every home** and may consist of board and batten, composite panel, cedar or composite shakes with a wood grain, smooth and/or stucco finish. Composite siding in a smaller profile or alternate colour would also be approved as a secondary wall material.

**All gable ends on exposed elevations will require a secondary wall material. Horizontal siding will not be approved.**

### 5.3 Masonry (revised Mar/16/2015)

A traditional base of masonry is recommended on all homes in King's Heights. Stone or brick on the front of the garage will be required to return along the length of the garage wall to the face of the porch or pillars on R1N, R1-U & R2 homes, and to the face of the front entry on R1S & R1 homes. All other returns must be a minimum of 2'-0". The end of the return will need to be finished with trim that sits proud.

Approved masonry products are:

- Brick. and Manufactured or Natural Stone.

Masonry colours must complement the cladding material and colour.

Designs with no masonry base may be accepted at the discretion of the Architectural Coordinator. These homes will require extensive detailing, application of secondary materials as a base alternative and trim elements.

### 5.4 Trim, Fascia and Soffits (revised Mar/16/2015)

Designers are asked to put a great deal of effort into the trim detailing on each design. Uniform trim size on all four sides of an opening will not be permitted on front and rear elevation.

- Trim detailing around all openings is highly encouraged for all non-exposed rear elevations. However, if the home is offset at least three lots from a street corner, a relaxation to the trim requirements around openings on the main level will be permitted. Full trim detailing on all openings will be required if the home is within three lots of the street corner.



- Trim shall be a paintable composite material such as Smartboard or an approved equal and is required on all openings on all four elevations.
- Shadow boards or cornices are required on front and rear elevations in the open gables.
- Trim details around openings to be a minimum of 4" with the use of a 6" sill or header.
- Trim must sit proud of the wall material they are designed within. When Smartboard trim is used on a stone wall, the trim must be built out at least ½" proud of the stone.
- Rainware must be limited on exposed elevations. Downspouts should take place on side and rear elevations of homes only.
- Eaves trough colours are to match the fascia colour.
- Fascia must be a minimum of 8 inches in height and is to be constructed with smartboard for any open gable on front elevations. All other fascia may be 6 inches in height and finished in aluminum.

## 5.5 Windows

Windows layouts are very important to achieve a chosen architectural style. Windows should be positioned in good proportion and relationship to one another on an elevation. If windows are not setup properly, walls can look scattered and unorganized.

Casement, double-hung, and single-hung are appropriate window types and may be incorporated with non functional windows to create more elaborate window designs. Sliding windows will be acceptable, but still require decorative treatment.

- Simulated divided lights or muntin bars are to be used on the front elevation; they are not required on rear elevations. Side elevations that are considered an exposed elevation will require muntin bars
- Large picture windows should be flanked by narrower vertical windows.
- Windows are to be oriented vertically, taller than they are wide.
- Skylights, if used, should be black in colour to match the roofing and should have a flat profile.
- Skylights should be incorporated on rear elevation and should not be visible from the street.

## 5.6 Roofing

The roof material for all homes is to be premium architectural asphalt shingles such as IKO Cambridge, GAF Timberline, BP Harmony Z. Composite products such as Gem or Endur, and concrete tile in the slate profile with a dark colour will also be permitted. Other equivalents may be approved at the Architectural Coordinators' discretion. No wood shakes will be allowed. All roof stacks must be enclosed and/or finished to compliment the roof colour and exterior finish detail.

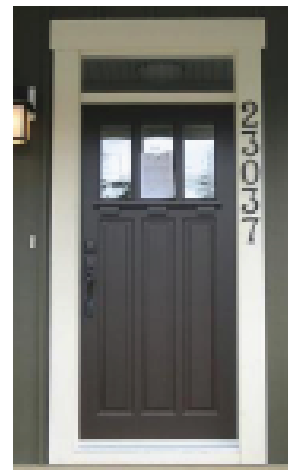
- Black, brown and grey will be the approved roofing colours when asphalt shingles are used.
- Rainwater leaders and soffits shall match or compliment the approved trim colour.
- All roof hardware (vents, stacks, flashing, etc.) must be painted to match the colour of the roofing material. **Unfinished galvanized flashing will not be permitted.**





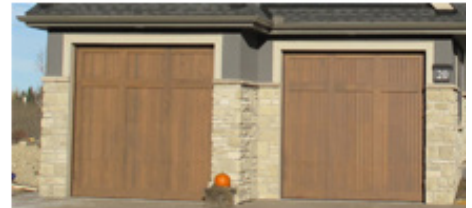
### 5.7 Entry Doors

- Are to compliment the architectural style of the home and should stand as a primary element of the front elevation. **A typical 6 panel door will not be permitted.**
- Entry doors should have glazing and/or sidelights and/or transom windows. Upgraded fibreglass doors with a natural appearance or real wood door will be permitted at the discretion of the design coordinator and may be approved without the requirement of glazing.
- Double front entry doors will be approved at the discretion of the Architectural Coordinator.
- Sliding patio doors should not be located on front elevations.



### 5.8 Garage Doors (revised October 2016)

- Garage doors must be a traditional carriage or renaissance style with vertically proportioned panels and raised trim. This will give the appearance that the door has been constructed of wood.
- It is recommended that all garage doors throughout King's Heights incorporate glazing into the door design. It will be a requirement in the garage doors of all home on R1S/R1 lots and R2 lots with oversized single or double car garages.
- Garage doors are not to exceed 8 feet in height and 20 feet in width unless authorized by the Architectural Coordinator.
- Additional space above the garage door to eaves line (more than 24 inches) will have to be justified and treated with an architectural feature.
- The same garage door style will not be permitted to be side by side, there must be at least one house of separation.



## 5.9 Railing

Railing will be required as per the Alberta Building Code. Front porches and rear decks should have railings in a style to match the architectural theme. Depending on architectural style, acceptable railing materials include:

- Aluminum
- Wrought Iron
- Wood (cedar only)
- Glass Panel (rear elevations only)

## 5.10 Front Steps (revised Mar/16/2015)

Front steps are encouraged to be constructed of concrete. Upgraded decorative finishes for the steps and sidewalk are encouraged. Pre-cast concrete steps will be permitted. Wood porches or other alternative materials may be approved on R-1N lots if they match the design of the home and are skirted with stone, smart board or an equivalent trim detail. Alternative materials may be approved at the discretion of the consultant if the materials are high quality and match the design of the home. **Wood steps, if accepted, must have all vertical, exposed surfaces painted to match the colours of the home.**

## 5.11 Exterior Lighting

Pot lights or light fixtures with a contemporary look are encouraged for the garage and front entry. All light fixtures shall complement the architectural style of the home. **Flood lights will not be permitted.**

## 5.12 Exterior Colours

Colours on the exterior of the home need to be consistent with the architectural theme of the home. Pink or Peach tones will not be considered. The Architectural Coordinator must approve all exterior colour schemes. Colours should complement and enhance the ambiance of the community.

Each home is required to have one secondary colour that is a contrasting colour to the main body colour of the home. The secondary colour must offer a striking contrast to the main body colour of the home and cannot be a lighter or darker shade of the same colour. Lighter shades such as a beige or taupe may be used in limited amounts. If a secondary colour is desired in a dark colour no restrictions will be made to the amount used. When vinyl siding is used, dark bold siding colours are required. **Approved siding colours can be found in Appendix A of these Architectural Guidelines.**

- Trim must be a contrasting colour to the main body colour of the home, corner boards, shadow boards, columns, wood stair risers, fascias and soffits must all match the trim colour.
- Garage doors must be painted to match the main body colour and the batten & trims painted to match the trim colour. Doors that are painted a wood colour may be approved at the discretion of the Architectural Coordinator.
- The roofing colour must be complimentary to the main body and trim colour of the home.



## 6. ADDITIONAL REQUIREMENTS

Nothing herein contained shall be construed or implied as imposing on the Developer, its agents or employees, any liability in the event of non-compliance with or non-fulfillment of any of the terms, restrictions and benefits set forth herein, and no liability or responsibility whatsoever shall be incurred by the Developer, its agents or employees, in the performance or non-performance of their rights and obligations herein.

### 6.1 Environmental Initiatives

The Developer encourages green building practices and environmental initiatives in King's Heights Phase 18 & 19. In addition to the requirements of The City of Airdrie Land Use Bylaw, the following requirements apply:

- Rain Barrels are encouraged in King's Heights provided they are located on the sides of the homes only. All rain barrels should be of an Earth tone colour.
- Drainage from roof downspouts shall discharge on soft landscaping and not on hard impervious surface.
- Solar collectors may be permitted at the discretion of the Developer. Solar collectors may be black in colour only.
- Compost bins will only be permitted in rear or side yards. For homes that back onto open space, compost bins will only be permitted in side yards. Compost bins are to be made from prefinished materials, not unfinished wood. All compost bins will require a gravel base or concrete pad so they are not resting directly on the lawn area.
- Electricity generation using small wind turbines is not permitted unless approved by the Architectural Coordinator or the Developer.
- Greenhouses will be permitted provided they are professionally designed and built and the plans must be approved by the Architectural Coordinator or the Developer.

### 6.2 Satellite Dishes

- Satellite dishes are allowed provided the dish size does not exceed twenty-four (24") inches in diameter and the location of the dish is concealed to minimize visual impact.
- Notwithstanding the above, the Representative reserves the right to reject any installation if deemed inappropriate.



### 6.3 Air Conditioning Units

Central air conditioning or other mechanical hardware must be located where they are not visible from the street and should be screened when possible.

### 6.4 Recreation and Commercial Vehicles/Equipment

Recreational vehicles and commercial vehicles shall not be parked in front of a home for any reason other than loading and unloading. When RV's are parked on site they must be parked on the side of the home and be properly screened from the street. Wood screen fence is an acceptable screening mechanism, but may only be used alongside the house. RV parking will not be permitted within any rear yard.





## 7. LANDSCAPING

### 7.1 Completion of Landscaping

All front yard landscaping must be completed within one year of occupancy. The minimum requirements will be sod with two trees or six shrubs. As an alternative, homeowners may choose sod with one tree and three shrubs. Coniferous trees must have a minimum height of two metres and deciduous trees must have a minimum caliper of 50mm. The builder shall loam the lot to a minimum depth of 12”.

### 7.2 Fencing

In addition to requirements noted in Part 4-1(8) of the City of Airdrie Land Use Bylaw, the following fencing requirements apply:

#### 7.2.1 REAR YARD FENCING

- Rear yard fencing will be supplied by the Developer.
- Fencing and gates installed by the Developer may not be altered or removed under any circumstances. Alternative fencing specifications are not permitted.

#### 7.2.2 SIDE YARD FENCING

- If the rear yard fence of a particular lot has been constructed as a six foot privacy fence, the preferred side yard fence is a six foot privacy fence that matches the developer’s specifications and color.
- If the rear yard fence has been constructed using chain link or wrought iron, the side yard fences must be constructed using either black wrought iron or black chain link to match the developer’s specifications and color. This fence must be constructed to the back of the home. A wood privacy fence may be constructed between two homes but will not be permitted to be constructed past the back wall of the homes.
- Detailed fencing specifications can be found in Appendix C of these guidelines.

#### 7.2.3 DOG RUNS

- Fencing for dog runs may be installed by the homeowner, provided it is 6 feet in height and conforms to the developer’s fencing specifications.
- The fenced dog run area may not extend beyond the depth of the house foundation.
- Dog runs may only extend into side yards.
- Landscape elements are encouraged as screening for dog runs.
- Dog runs are not permitted on the exposed side yard of a corner lot.



### 7.3 Fire Pits and Outdoor Fireplaces

Fire pits and outdoor fireplaces may be permitted in rear yards only and must be constructed in accordance with any regulations or bylaws established by The City of Airdrie.

### 7.4 Ancillary Structures

- Ancillary structures such as gazebos, arbors, trellises, fire pits and storage cabins must be designed in a similar style to the home. They shall be located in the rear of the lot.
- All structures are subject to review by the Architectural Coordinator if built at the time of house construction or the Homeowners Association if built at a later date.
- Construction of pools and sport courts also require review by the Architectural Coordinator, or the Homeowners Association if built at a later time.



## 8. APPROVAL PROCESS

### 8.1 Required Information for Architectural Approval

The following items are required for architectural approval. Incomplete applications will not be processed.

Plot Plan (1:200 scale) showing the following:

- Lot size
- Building envelope
- Setbacks
- Lot coverage
- Easement and utility rights of way
- Property and house corner grades

Construction Drawings (1/4"=1'; 3/16"=1')

Completed architectural exterior colour and material selections

Architectural approvals are processed by Evans 2 Design Group through the online system StreetscapePLUS™. Access to StreetscapePLUS™ can be obtained through email request at [support@evans2design.com](mailto:support@evans2design.com)

### 8.2 Approval Processing

The initial review of home plan submissions will be reviewed within 5 working days.

### 8.3 Schedule of Applicable Fees

The first Architectural Approval and Pre Approval will be covered by the Developer.

The following are the fees for the processes of Architectural Approvals and Change Requests:

Secondary Architectural Approval	\$550.00
Change Requests	\$125.00
Fee for Consultation:	
Senior Architectural Technologist	\$175.00 / Hour
Intermediate Architectural Technologist	\$100.00 / Hour

### 8.4 Initial Lot Inspection

Builders must submit the lot inspection report to the developer prior to release of the grade slip.



## 9. CONSTRUCTION REGULATIONS

### 9.1 Material and Equipment Storage

- Builders will be allowed to store their materials and equipment on site during construction, but may not store on adjacent or any other home sites.
- Items stored must be stored in an organized manor and must be covered to ensure site cleanliness.
- Builders must ensure that they do not trespass or disturb any other properties.
- Cleaning of paint, solvents, stains, etc will not be permitted on site.
- Concrete trucks may not clean chutes anywhere on site

### 9.2 Use of Site

- Construction debris and waste must be contained on site each day and removed at the end of the project.
- Debris may not be burned, dumped, or buried anywhere on site at any time.
- Site damage (curbs, site furniture, sidewalks, roadways, vegetation) will be the charged to the responsible Builder.
- Should a site not be maintained as per these guidelines, the Developer reserves the right to rectify any deficiencies at the cost of the responsible Builder.
- The builder shall take all necessary measures to prevent the tracking of sediment and mud onto the public right-of-way. The builder is required to clean any sediment and mud on the right-of-way in front of their lot.

### 9.3 Vehicles and Parking

- Utility trailers, etc. may be parked on site only during the time of construction. These are parked at the risk of the builder.

### 9.4 Other Notes

- Vegetation material, top soil, or similar materials may not be dumped on site at any time.
- Changing oil on any equipment or vehicles is not permitted on site.
- Alcohol and drugs are prohibited at all times on site.
- Erosion control is the responsibility of the Builder during construction.
- Builders are to ensure that sites are only accessed via the provided entries





## 10. DISCRETION

Notwithstanding anything set out in these guidelines, the Developer, Melcor Developments Ltd. and Architectural Coordinator (Evans 2 Design Group) may apply their respective judgments when considering and approving anything regulated or controlled by these guidelines. In so doing, the Developer and the Architectural Coordinator may provide waivers of or relaxations to any matter set out in these guidelines in their sole and absolute unfettered discretion.

### 10.1 No Right to Enforce

Only the Developer may enforce the guidelines. No purchaser of a lot in King's Heights may enforce these guidelines.

### 10.2 Right to Amend

The Developer may amend these guidelines as it sees fit in its sole and absolute unfettered discretion.

### 10.3 No Trespassing

No person shall infringe upon, excavate, destroy, paint, fill in, cut, remove or tamper with any lot in King's Heights that is not their own. If done so the Developer has full right to take legal action for relief of any violation.



## 11. CONTACTS

### ARCHITECTURAL COORDINATOR

#### Evans 2 Design Group

300 - 4723 1 St SW

Calgary, Alberta T2G 4Y8

Tel: 403.256.5123

Fax: 403.256.1782

Email: support@evans2design.com

Website: evans2design.com

### ENGINEERING CONSULTANT

#### Pasquini and Associates

300, 929 – 11th Street SE

Calgary, AB T2G 0R4

Tel: 403.452.7677

Fax: 403.452.7660

### DEVELOPER

#### Melcor Developments LTD.

Suite 300, 1204 Kensington Road NW

Calgary, AB T3G 5H6

Tel: 403.283.3556

Fax: 403.270.0538



# APPENDIX A

## APPROVED SIDING COLOURS

(revised Apr/14/15) (October 2016)



**James Hardie – ColorPlus**

- Khaki Brown
- WoodStock Brown
- Monterey Taupe
- Timber Bark
- Mountain Sage
- Evening Blue
- Chestnut Brown
- Countrylane Red
- Iron Grey
- Tuscan Gold
- Boothbay Blue
- Traditional Red
- Parkside Pine
- Night Grey
- Aged Pewter
- Rich Espresso
- Deep Ocean

**Gentek - Designer**

- Venetian Red
- Dark Drift
- Saddle Brown
- Moonlit Moss
- Midnight Surf
- Windswept smoke
- Mountain Arbor
- Coastal Blue
- Windswept Smoke
- Iron Ore
- Espresso

**Gentek - Classic\***

- Storm\*
- Pebble Khaki\*

**Mitten – Premium**

- Khaki Brown
- Chestnut Brown
- Arizona Tan
- Muskoka Green
- Rockaway Grey
- Caribou Brown
- Spring Moss
- Grenadier Green
- Rainforest
- Regatta Blue
- Gunmetal Grey
- Burnt Orange
- Eggplant
- Coffee Bean
- Amber
- Richmond Red
- Annapolis Blue
- Aviator Green
- Sapphire Blue
- Lighthouse Red
- Timber Bark

**Mitten - Standard\***

- Stratus\*





**Royal – Colorscapes**

- Natural Cedar
- Olivewood
- Walnut
- Granite
- Shamrock
- Ironstone
- Wedgewood
- Midnight Surf
- Cocoa
- Redwood
- Heritage Blue
- Autumn

**Kaycan - Timberlake\***

- Khaki\*
- Clay\*
- Stonecrest\*

**Royal - Standard\***

- Harvard Slate\*
- Flagstone\*

**Kaycan – DaVinci**

- Ivy Green
- Pecan
- Mahogany
- Midnight Blue
- Colonial Red
- Spice
- Brick
- Evergreen
- Cabot Brown
- Cabot Blue
- Cabot Red
- Castlemore
- Manor

*\*Note: Houses with standard siding may require an increased amount of secondary material, which will be determined at the time of preliminary approval*



# APPENDIX B

## FENCING DETAILS

