



Johnson County Park & Recreation

Parks Master Plan for Independence Park
& Johnson County Park

Prepared By:



Acknowledgements

Thank you to all of the elected officials and board members that support the Johnson County Park Department and this Master Plan effort. Your hard work and input were greatly appreciated!

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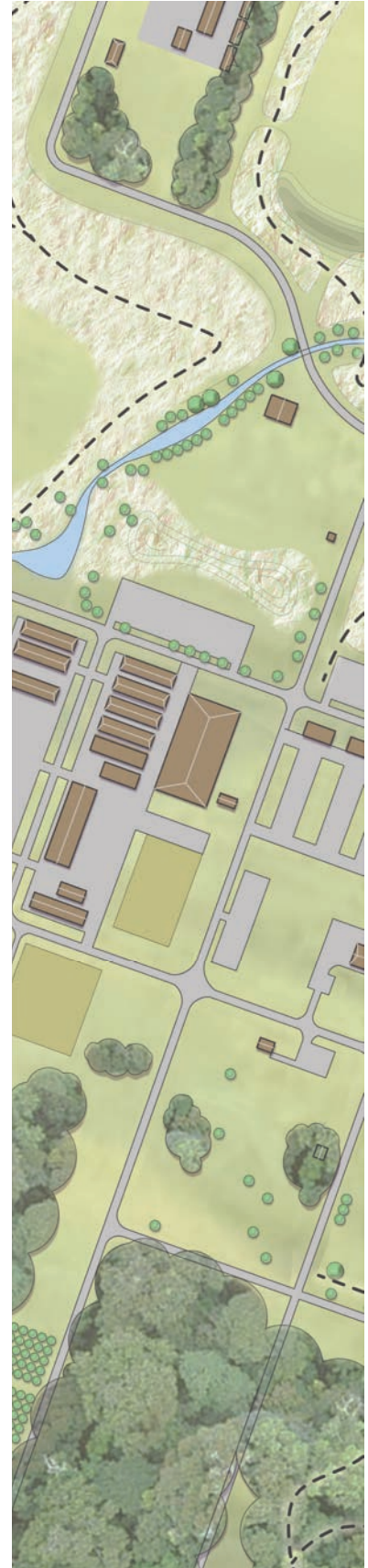
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Mission Statement

Johnson County Parks & Recreation Department will develop, operate and maintain parks that enrich the quality of life for residents and visitors alike, and preserve greenspace for future generations.

We strive to achieve this through:

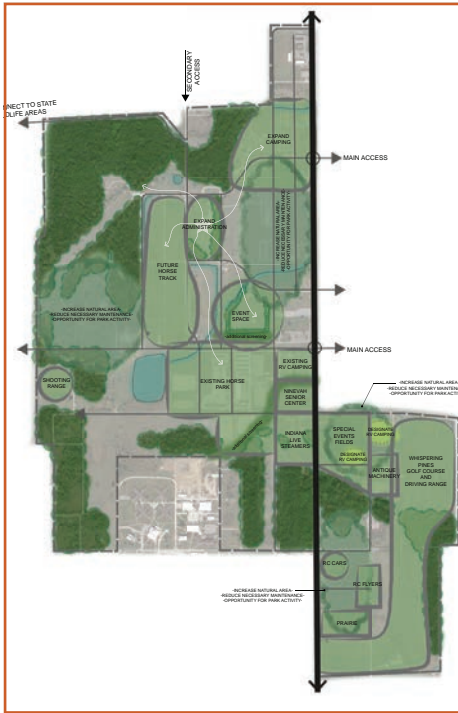
- Providing unique community oriented recreation opportunities.
- Providing educational programming and events.
- Encouraging interaction with the outdoors, while promoting conservation and stewardship.

Master Plan Process

In 2016, the Johnson County Park Board embarked on an important step in the evolution of the Department through the development of a master plan for both Independence Park and Johnson County Park. With a goal to set forth a reasonable and responsible vision for each park, the Department focused on creating a master plan to give them a target that could be implemented over time as resources are available. With the background of the Department's Mission Statement, the planning team, consisting of park staff, board members, and the consultant team set forth several goals:

- Become more inviting to the general public by activating the park.
- Efficient use of Capital Resources
- Focus on holding high standards for facilities in the park, and address areas that could lead to safety and liability concerns.
- Move beyond the patch and fix/make-due attitude to a more proactive facility improvement and maintenance plan.
- Opportunity for Special Interest groups to buy into the overall vision for the park and the Department.
- Opportunity to find ways to be more efficient with routine maintenance.
- Understand and make decisions for the master plan based on revenue and maintenance costs related to activities, events, and new facilities and amenities.
- Find an appropriate way to phase the master plan, considering ongoing functionality of the park throughout implementation, as well as funding/resources.

With these goals in mind, the consultants reviewed information

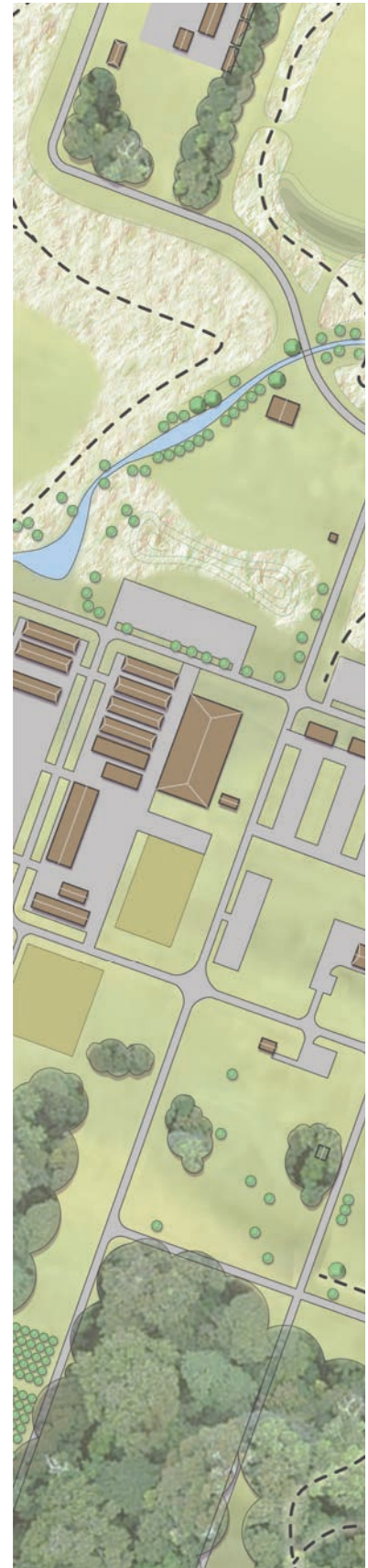


from past master plan documents, as well as current documentation provided by park staff. The planning team toured all of the facilities at each park and provided broad evaluations for the public facilities and equipment throughout the parks. As the park assessments were developing, a public meeting was held on November 10th, 2016 at the Trafalgar Branch of the Johnson County Public Library to begin to gather input from the public on the use, programs, and activities within the park.

Much of the existing use at Johnson County Park revolves around hobbyist groups and special use facilities such as Equestrians, RC Flyers, Antique Machinery, Golf Course, Amphitheatre, Senior Center, Model Trains, Live Steamers, and many others. Many of these groups were present at the public meeting. Each group, as well as other stakeholders for the department were invited to attend one of a series of Stakeholder Input Meetings on November 29th and December 1. Each group met for 1.5 to 2 hours, discussing the facilities they use, how they use them, and how they interact with other park users. Some key topics that came out of the Stakeholder Meetings were:

- A need for a visible, known, central point for the park
- A need for additional rentable spaces throughout the park
- Identity, wayfinding, and park aesthetics to distinguish from the surrounding Military and DNR properties.
- Opportunities for different groups to align schedules and co-market their events.
- More 'general park user' activities to attract additional park users for longer park stays, such as playgrounds, shelters, and other activities not geared toward the hobbyist groups.
- A focus on nature and habitat related to education and recreational opportunities for park users.
- Update equipment at Independence Park.
- Ease maintenance through consistent updates/upgrades of infrastructure.
- Ease maintenance through development of natural prairie and reforestation areas to take the place of mowed lawn.

It was discussed and understood at each of the public and stakeholder meetings that through the implementation of this master plan that facilities and operations of the parks, facilities within parks, and operations of various interest groups would continue to evolve and change. Some underutilized facilities and activities may phase out, while active groups will continue to flourish, and new opportunities for new and regular park users will be implemented.

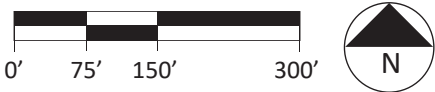
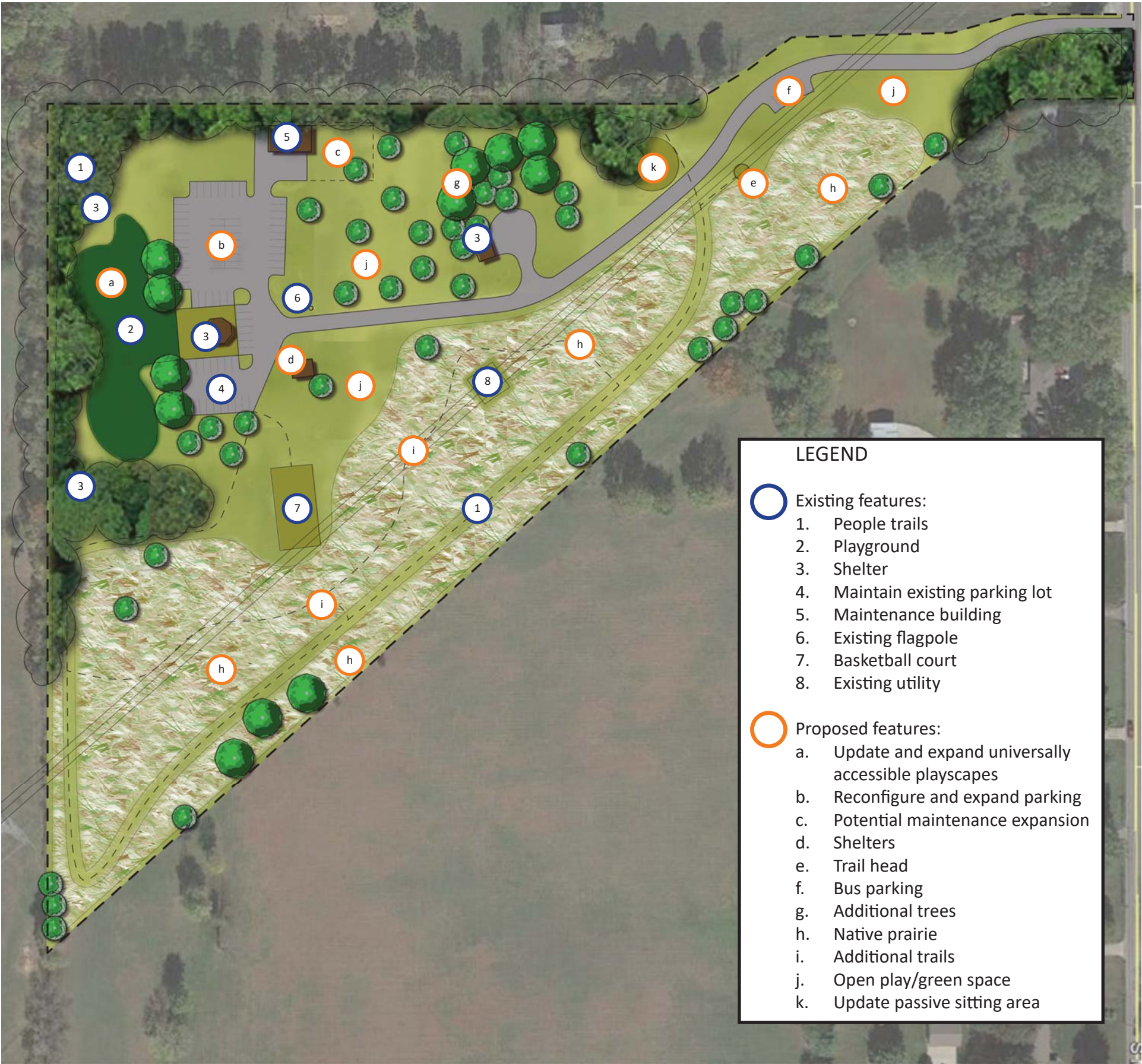


The public and stakeholder input was reviewed and prioritized by the planning team, and master plan concepts began to develop. The Park Board was updated as the plan began to take shape. Through additional review meetings and honing of options, the plan was refined with general consensus of the planning team. The Preliminary Master Plans were presented to the Park Board at the March 9th, 2017 regular board meeting, with a final public presentation on April 6th, and adoption of the plan at the following Park Board Meeting.

The following pages provide a package for each park, including Master Plan Graphics, Descriptions of Existing and Proposed facilities and improvements, and Master Plan level Project Budgets for Independence Park and Johnson County Park.



Johnson County Parks Independence Park Master Plan



Existing Features:

1 TRAILS

Independence park provides a paved trail along the outskirts of the park boundary. From the walking trail, pedestrians can see all of the happenings in the park – from the playground to the shelters. The north portion of the trail is heavily wooded while the south portion is currently open providing different environments for hikers throughout the park.

2 PLAYGROUND

The existing playground provided some of the first all-inclusive play features in the area. The playground's condition is declining and there is an opportunity for additional new playscapes to provide more interest and interactive features.



3 SHELTERS

There are four existing shelters within Independence Park. Three are along the boundary of the playground providing great areas to rest while still being able to supervise children on the playground. All shelters except the Gazebo are also available to rent. A fourth shelter is closer to the entrance of the park, providing a more private space for those that are so inclined. The landscape surrounding the central shelter in the parking lot provides some privacy while in the shelter, but could become a safety hazard. The master plan recommends removing the tall grasses and replacing with a shorter, lower maintenance alternative.

4 PARKING LOT

The existing parking lot surface is in good shape.

5 MAINTENANCE BUILDING

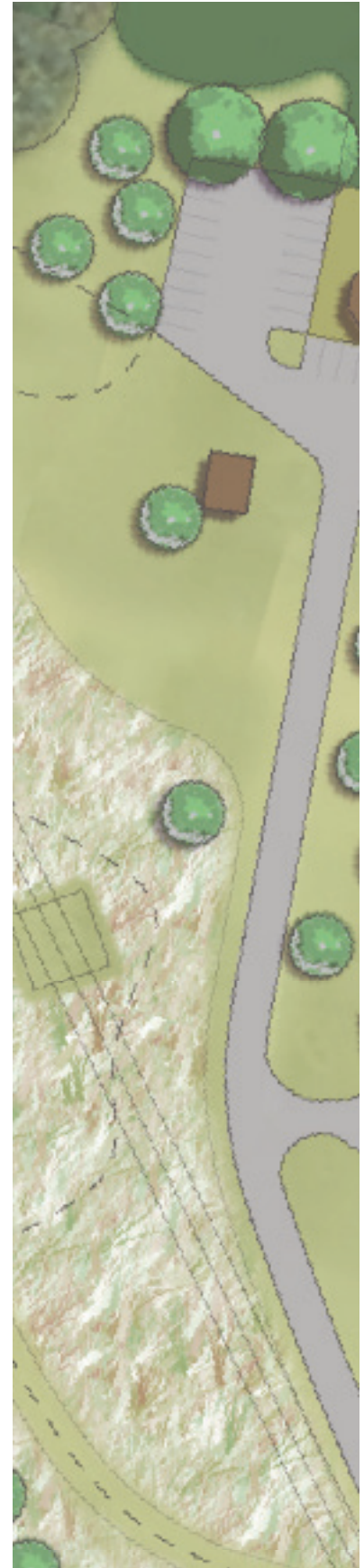
The existing maintenance building provides adequate storage for the Park Department.

Existing Features:

- 6 FLAGPOLE
The existing flagpole and memorial signage provides a history of the park while creating an entrance piece once visitors are close to the parking lot.
- 6 BASKETBALL COURT
The basketball court is in good shape but could use more designated access.
- 6 EXISTING UTILITY
A large portion of the park is under existing utility lines. Any proposed amenities placed underneath of the existing lines need to be aware of staying below a certain height.

Proposed Features:

- a UPDATE AND EXPAND UNIVERSALLY ACCESSIBLE PLAYSCAPES
Existing features are in good shape but there is an opportunity for additional updated play features. Over the years, the technology and advancement of all-inclusive play has improved and the master plan recommends using some of the open space in the park to fill in with new play features.
- b RECONFIGURE & EXPAND PARKING
On the north side of the parking lot the master plan proposed to expand the parking lot and reconfigure the spaces to better control circulation and dictate where cars park while increasing the total amount of parking available.
- c POTENTIAL MAINTENANCE EXPANSION
The county has mentioned using the existing maintenance building and some additional space to the east for storage of snow plows and salt. This provides a great opportunity for a partnership while taking up very little of the useable existing space.
- d SHELTER
The master plan proposes another rentable shelter to the south of the drive to offer another space for rest and relaxation next to the open space and proposed prairie.
- e TRAIL HEAD
In addition to some extra trails, the master plan is proposing a trailhead at the entrance of the park for patrons that want to use the walking trail without parking up near the playground. This trailhead will provide a node for the beginning and end of the trail loop.



Independence Park Master Plan

Proposed Features:

f BUS PARKING

For the same patrons that want to use the walking trail but not necessarily the rest of the park amenities, the master plan proposes additional parking at the entrance of the park. Five additional spaces are added that can also be used as bus parking for fieldtrips.

g ADDITIONAL TREES

An overall goal of the master plan is to reduce the amount of maintenance necessary for the park department, replace ash trees lost to the emerald ash borer, while also increasing the biodiversity of the site. Additional trees in the northern portions of the park will help accomplish that goal.

h NATIVE PRAIRIE

In order to reduce the amount of time spent on strictly lawn maintenance in the park, the plan proposes to turn large areas of turf grass into the mixed prairie. There is a long list of benefits when adding prairie to the park. The biggest benefit would be the reduced maintenance, but others include absorption and conservation of rainfall - helping in overall drainage of the site; reduction of weeds while creating great biodiversity; addition of habitat for songbirds, butterflies, and other rare animals that live in prairies.

i ADDITIONAL TRAILS

The master plan proposes a system of trails that loops throughout the park to connect different activities together, drawing users to experience the whole park. New trails are proposed within the proposed prairie area to provide a nature trail with educational and interpretive capabilities, as well as additional routes and trail loops for park users.

j OPEN PLAY/GREEN SPACE

While proposing to install prairie throughout much of the lawn area in the park, maintaining some open lawn for active play is important to the use of this park. The open play area is concentrated around a proposed shelter and the existing basketball courts, maintaining an active core within the park.

k UPDATE PASSIVE SEATING AREA

There is currently an existing arbor with sitting area along the entry drive. The seating area is directly on top of a dry pond making it very difficult to use. The master plan proposes to rework drainage around the sitting area to make this space more usable.





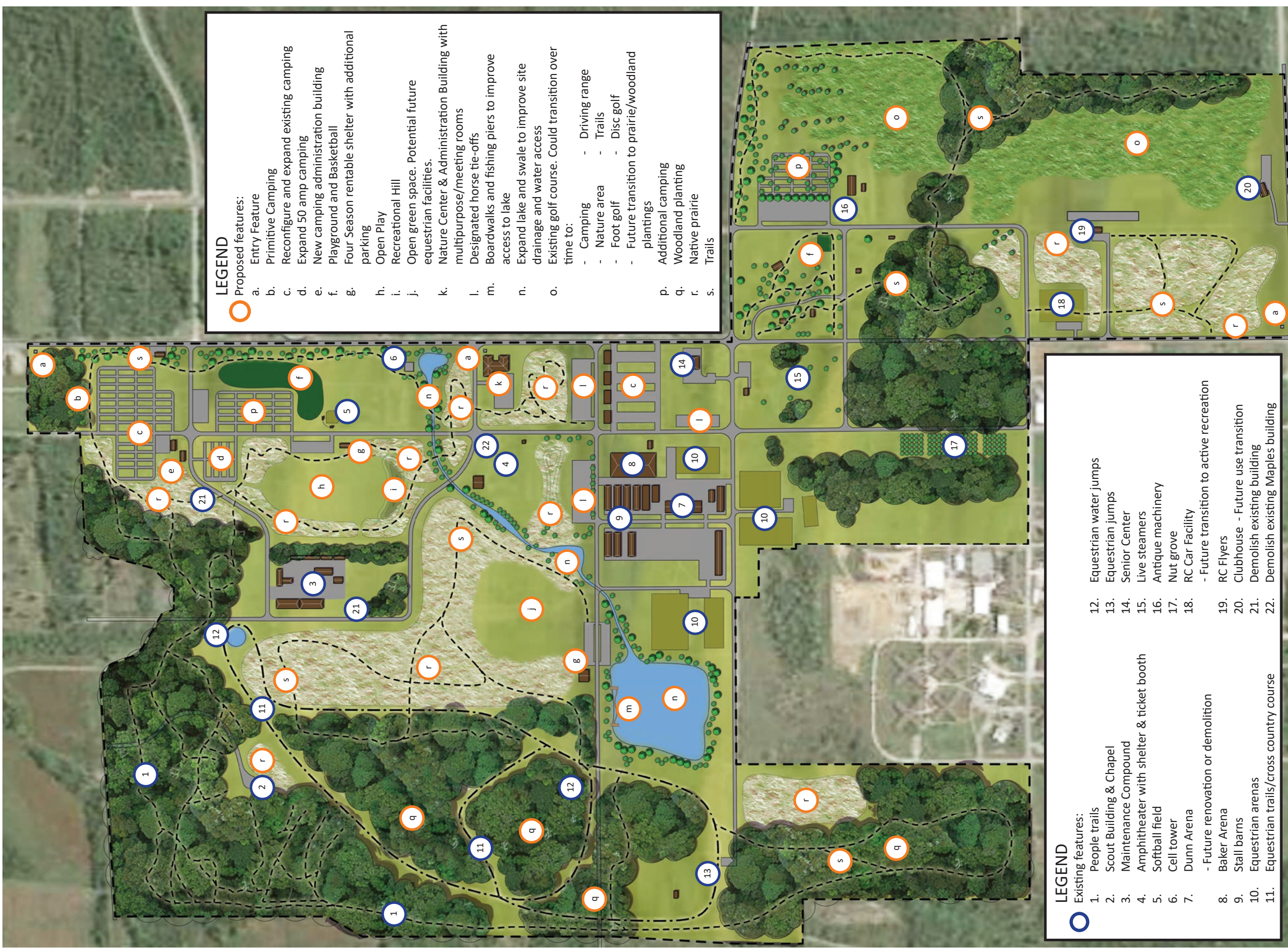
Site Improvements

Item	Quantity	Units	Low Unit Cost	High Unit Cost	Low Subtotal Cost	High Subtotal Cost
Site preparation						
General site improvements	1	LS	\$15,000	\$25,000	\$15,000	\$25,000
Site preparation/Demolition	1	LS	\$25,000	\$50,000	\$25,000	\$50,000
Earthwork & Utilities	1	LS	\$15,000	\$25,000	\$15,000	\$25,000
Proposed development						
Asphalt pavement - Parking / Drives (+ 12600 sf)	1,400	SY	\$30	\$35	\$42,000	\$49,000
New Shelter	1	LS	\$25,000	\$40,000	\$25,000	\$40,000
New playground features	1	LS	\$200,000	\$300,000	\$200,000	\$300,000
New Playground Surfacing	1	LS	\$50,000	\$150,000	\$50,000	\$150,000
Trails	1,200	LF	\$12	\$18	\$14,400	\$21,600
New Prairie	6	acre	\$1,500	\$2,500	\$9,000	\$15,000
Subtotal					\$395,400	\$675,600
Site Development Subtotal					\$395,400	\$675,600
Design Contingency (10%)					\$39,540	\$67,560
Construction Contingency (5%)					\$19,770	\$33,780
Soft Costs - Design, Survey, etc. (15%)					\$68,207	\$116,541
Contractor overhead and profit (10%)					\$45,471	\$77,694
Total					\$568,388	\$971,175

Note: Cost information is based on input from contractors and landscape architects' historical data, however shall not be construed as a guarantee of actual construction costs when bids are solicited. Costs shown here for building renovation and/or other MEP/Utility work are assumed budget items. As the project moves forward, more accurate information can be provided by engineers and/or contractors involved in the project(s). At this time, nothing is assumed for hazardous materials.



Johnson County Park Master Plan and Budget



Existing Features:

1 TRAILS

Johnson County currently has a great start to a trails system in existing woodland. The existing trails make up over 3.5 miles of both people and horse trails. Majority of the trails are only ¼ mile long and occur in one section of the entire site. There is great opportunity for an expansion of trails throughout the site that will not only add a large number of trails but will help connect different parts of the park to others.

2 SCOUT BUILDING & CHAPEL

In the northwest end of the park is an existing building with a kitchenette that is often rented by scout groups for overnights. In the same area is a chapel that has been used for weddings. The chapel and building are located next to the equestrian cross county competition area which has caused issues in the past due to the large groups spooking the horses when they cross paths. The parks department has taken charge to fix this issue by creating access to the chapel and scout building from County Road 650 to the north so there will not be cross interaction between the large groups and the horses.



3 MAINTENANCE COMPOUND

The maintenance compound is made up of a variety of military buildings previously located on the site that have been updated with metal siding in order to store machinery and supplies for the park. All buildings that have been re-sided are in pretty good shape. Also, the current administration building is in good shape, but the needs of the office is outgrowing the space. The Columbus Area Railroad Club currently resides in the office building and could expand into other rooms if they become available.

Existing Features:

4 AMPHITHEATER

The amphitheater is great site amenity that is currently underutilized. The electrical is not up to code. There is very little shade or enclosure to block sun for mid-day activities in the summer. The bathrooms need updated. The ticket booth is in good shape, but the ramp would need to be repaired. There is very little screening between amphitheater and the Hoosier Horse Park. This causes an issue because sound from both event spaces carries so only one amenity can be having an event at one time. Also, in order to hold any large groups, a designated parking lot nearby would be beneficial. If programmed correctly, the amphitheater could become a key amenity for the county and surrounding area.

The existing outdoor amphitheater remains in the concept plan in order to take advantage of the unique programming opportunities associated with a 10,000 seat outdoor venue. The remaining seating area is sloped to provide adequate views to all attendees. It is not foreseen to be a viable facility as a 10k seat venue, so this plan recommends reducing the seating area to approximately 3-5,000 - more fitting for the types of events and anticipated crowds. Remaining area can be used for additional screening to the Horse Park as well as naturalization. Improvements to restrooms and entrances should be considered, although concert promoters can provide temporary facilities for the stage, restrooms, and ticketing/entrances on an as-needed-basis, limiting the investment required by the Department.

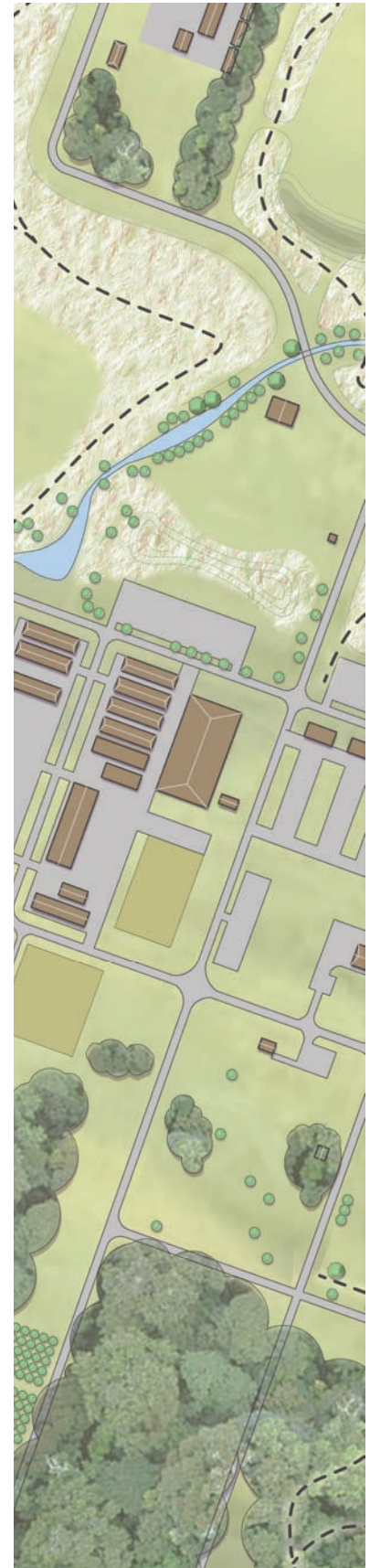
The centralized location of the amphitheater allows for parking to be distributed throughout the site while also maintaining a 10-15 minute walking distance to the venue. By locating the parking throughout the site it will enable vehicles to enter and exit the site in an efficient manner.

5 SOFTBALL FIELD

The softball field is in decent shape. If programs were put in place for more than pick-up games, it could be used more often.

6 CELL TOWER

Maintain and build on an opportunity for funding partner. Any new activities will need to be kept at least 50' away from the cell tower for safety and accessibility by the owner.



Existing Features:

7 DUNN ARENA

Dunn Arena is an indoor facility that is currently used mostly for storage. Renovation or demolition of this space could provide opportunities for an indoor event space. The bathrooms are in good shape and used often. The existing kitchen is in good shape but is not currently used due to staffing needs. There is a need for a eating area for big events and Dunn Arena could fill this need if renovated.



8 BAKER ARENA

Baker Arena is the outdoor competition arena. It is in good shape and provides plenty of seating and space for the equestrian events. There is a need for additional bathrooms in this area.



9 STALL BARN

The stall barns are part of the Hoosier Horse Park built in 1987 for the Pan Am games and are in decent shape, but could use some upgrades and renovations. Ongoing maintenance for the buildings and surrounding site is required and can be provided as needed by in-house staff.

The rest of the horse area is in decent shape. One area that needs improvement is the wash stations for the horses. These areas turn into mud pits and could use some upgrades and renovation.

10 EQUESTRIAN ARENAS

All of the equestrian rings and arenas were built as part of the Hoosier Horse Park for the Pan Am games. The parks department has made several upgrades throughout the year, but all areas of the Hoosier Horse Park could use some renovations.



11 EQUESTRIAN TRAILS / CROSS COUNTRY COURSE

12 EQUESTRIAN WATER JUMPS

13 EQUESTRIAN JUMPS

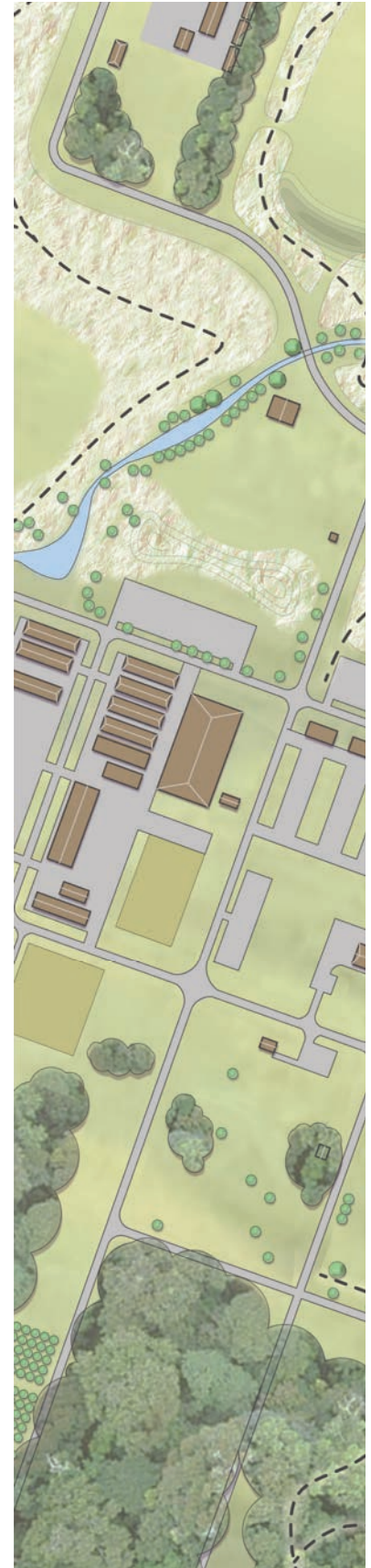
The trail system and cross country courses currently set up for the horse park are in good shape. Designation of specific equestrian areas would help to lessen the amount of space taken over by equestrian activities.

14 SENIOR CENTER

Nineveh Senior Center

Existing Features:

- 15 **INDIANA LIVE STEAMERS**
The Indiana Live Steamers Railroad Club has currently constructed nearly three miles of scaled railroad in the southern half of the park. It is recommended that the Live Steamer railroad tracks remain in this area and further track expansion has been accommodated throughout the Nut Tree Grove and reforested area on the Southwest edge of the park.
- 16 **ANTIQUE MACHINERY**
The Johnson County Antique Machinery is a club devoted to the restoration and preservation of the farm tools and equipment of years gone by. These individuals have events throughout the year. The bathrooms in this location need an upgrade as well as the parking lot, which similar to many of the parking lots throughout the park is just an old foundation. The Johnson County Antique Machinery Club working with the Johnson County Historical Society completed a sawmill facility. This facility currently houses several historical artifacts and antique farm equipment as well as the sawmill. It is recommended that this facility remain, and be upgraded as needed for maintenance purposes.
- 17 **NUT GROVE**
The Indiana Nut Grower's Association planted a 25-acre Nut Tree Grove in 1986. This site amenity is the focal point of the Heartnut festival and needs ongoing maintenance and additional tree plantings to enhance the grove so that it reflects the original intent of the area. In addition to a festival focal point, this grove of trees can serve as an educational component throughout the year.
- 18 **RC CAR FACILITY**
The RC Car Group is a limited use group who only uses their large portion of the park 3-4 times a year. Other RC Car facilities in the surrounding are closing which could mean more events at Johnson County. However, this plan recommends transitioning this area into an active recreation space if use does not increase.
- 19 **RC FLYERS**
Currently the Tracee Field Radio Control Flying Area is identified as one of the premier flying fields in the State of Indiana. Tracee field is located in the southern portion of the park near Schoolhouse Road. Currently this site is adequate for the Flying Club members and their associated events and it is recommended that this area remain.



Existing Features:

20 WHISPERING PINES CLUBHOUSE

The master plan proposes that Whispering Pines Golf Course transition into another use amenity due to lack of use and financial gains. The current clubhouse is in good shape but will need to transition future use to fill any needs the park may have.

21 DEMOLITION OF EXISTING BUILDING

The master plan proposes the demolition of old buildings in disrepair. The current structure is not worth saving and has been proposed to be replaced in the master plan.

22 DEMOLITION OF MAPLES BUILDING

The maples building is currently one of the nice indoor rental facilities on the site, but it is still in need of several upgrades to serve the needs of the community. The master plan proposes demolishing the existing building and replacing with a new structure in a location with better access to other amenities.



Proposed Features:

a ENTRY FEATURE

There are currently numerous paved roadways throughout the site. These are remnants from past Camp Atterbury military uses of the park property. Several of the roads are not maintained and are in poor condition. Many of those roadways can be removed to reduce maintenance and improve site circulation. In addition to the numerous roadways within the site, there are several curb cuts along School House Road that provide access into the park. These numerous entrance points fail to give a clear direction of where specific activities take place and do not create defined boundaries for the park. Removing many of these entrances will help to create clear entry points for the park. To help clarify the boundaries and entry points, the master plan proposes entry features at 3 specific locations. One at each of the north and south boundaries along School House Road and two on either side of E. 32nd Street where the new Nature Center and Administration building is proposed. The entry features can be anything from improved signs with landscaping to aesthetic fencing or masonry totems. Upgraded and additional wayfinding signage is recommended as well.

b PRIMITIVE CAMPING

The master plan proposes relocating the primitive camping site to a more wooded site that will provide several camp sites with shade and privacy while still allowing access to camping amenities.

c RECONFIGURE AND EXPAND EXISTING CAMPING

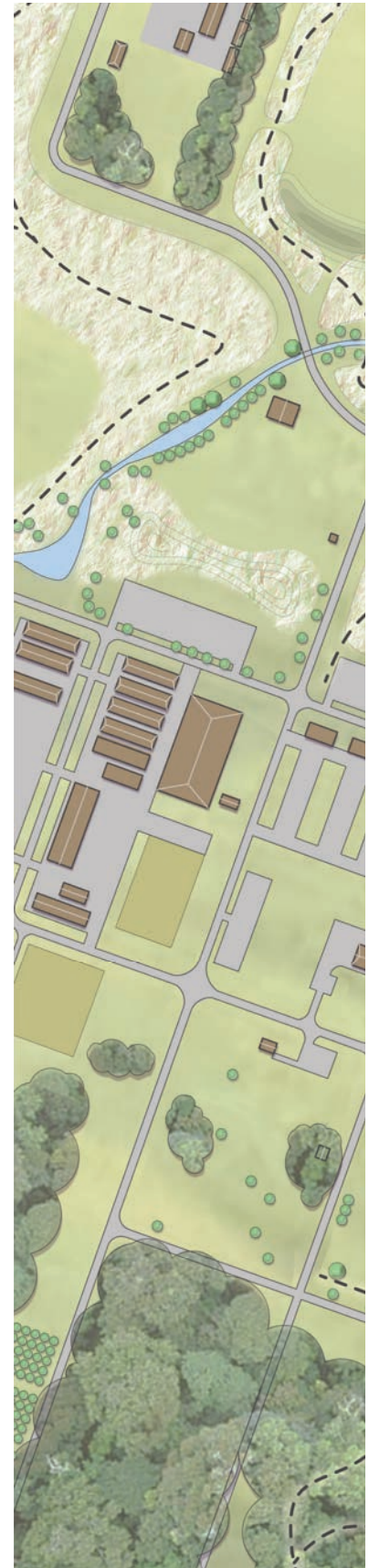
The current camping doesn't allow for the most efficiency and could use some upgrades. The master plan proposes reconfiguring the existing camping grounds to serve more campers while adding some lots to the south.

d EXPAND 50 AMP CAMPING

The master plan proposed adding additional 50 Amp camping spaces to accommodate the needs of the park.

e CAMPING ADMINISTRATION BUILDING

A new administration building has been proposed to service the expanding camping per the master plan. The intent behind the administration building is to provide campers with a central location for check-ins, restrooms/shower facilities, and a camp store providing snacks and basic necessities for campers.



Proposed Features:

f PLAYGROUND

The addition of a natural play themed playground would provide campers with an extra activity while also attracting the local community for day trips. Johnson County Park system currently maintains a universally designed playground facility at Independence Park. This playground should be considered the standard for all future playground development within the park system for this conceptual master plan as well as any development in the future. These all-inclusive play structures provide opportunities for play for all children regardless of their ability level. New playground areas are proposed in a few locations within the park to provide additional amenities and attractions to the park users at campgrounds, the Horse Park, and at other events and park features that draw families. Playgrounds provide incentive for park visitors to stay and play within the park and create additional draw for the park to the general public.



g FOUR-SEASON SHELTER

Along with the several picnic shelter facilities to remain, the master plan calls for the addition of two new four-season facilities. These facilities will be rentable throughout the year and will service the areas near Lake Cottonwood and the proposed recreational hill. Efforts should be made to construction picnic shelters that compliment the design vocabulary developed for the proposed building structures previously mentioned. While each shelter should be unique in its design, common materials and forms should be utilized to create a unified design aesthetic.



h OPEN PLAY

There are currently large open fields throughout Johnson County Park. The master plan proposes edging an already existing large open field with prairie in order to designate this particular space for open active recreation. The prairie plantings will have trails throughout the park drawing even more people to the area. Designating a particular area helps with wayfinding as well as programing needs. One of the proposed four-seasons rentable shelters will be located next to the open play field. A parking lot to service the users of the shelter as well as the field is proposed.



i RECREATIONAL HILL

At the southernmost end of the open play field, a recreational hill is proposed. This will provide an area for loose play during all seasons. Some excavation of the existing swale and Lake Cottonwood can help to build the hill.

Proposed Features:

j POTENTIAL EQUESTRIAN FACILITIES

Another large area of land has been set aside as a potential future use for horse training and possible a standard bred and quarter horse race track. For the sake of reducing maintenance on the Johnson County Park department, a prairie with trails has been proposed to fill the area until further decisions are made about future uses.

For the near term, an area is designated to improve ground conditions to provide Dressage Grounds for equestrian events and schooling.

k NATURE CENTER & ADMINISTRATION BUILDING

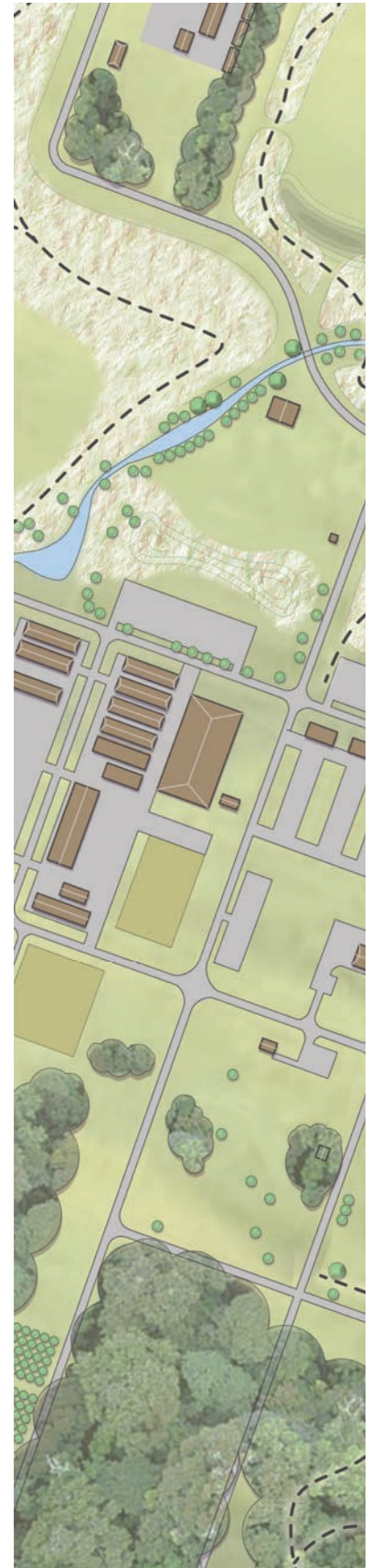
Given the size of the park, it is important to create a focal point of programming activity so a central “home base” can be created for the park. A welcome center building has been proposed to function as the administrative node for the park, while also providing room for additional meeting and office space. The building footprint incorporates space to accommodate the following:

- Administrative offices for the park superintendent, and assistant superintendent. In addition, offices for 1-2 additional staff members.
- Display space to serve as a Nature Center for the park
- Flexible meeting space that can be configured to allow for larger events that could seat up to 200 with a small warming/catering type kitchen. This space can be used as a rental facility year round, and can be available to the many interest groups within the park.
- Restroom facilities
- General supply storage

This building is a focal point of the site and is located at the intersection of two main roads within the park. Adequate parking has been sited adjacent to the facility to accommodate large and small events. There is a potential to include offices for the County Soil and Water Conservation District.

i DESIGNATED HORSE TIE-OFFS

Two areas just north of the Hoosier Horse Park have been taken over and are currently used as tie-offs for the horse park. To reduce the amount of flooding and damage done to the property, the master plan proposes to designate these areas as tie-offs for the park. In order to designate these areas, the lots will have to be expanded, repaved, and striped to provide enough temporary parking for the trailers and trucks that will be using the space.





Proposed Features:

- m BOARDWALK**
 A boardwalk with two piers built on the north side of Lake Cottonwood will provide a designated space for fisherman while providing access to the lake for educational or interpretive programming.
- n EXPAND LAKE COTTONWOOD & DRAINAGE SWALES**
 On overlying goal of the master plan is to decrease the drainage issues on site while still collecting all run-off within the park boundaries. To help with the current drainage issues, the master plan proposes daylighting some drainage areas into a small creek/large swale that can be cleaned through several stages before re-entering the ground water. The creek will allow water access without a hazard while also providing an opportunity for education programming.
- o WHISPERING PINES GOLF COURSE**
 It appears that the long term sustainability of the golf course is doubtful and that it is no longer feasible to sustain the Whispering Pines Golf Course as it currently is. The course maintenance takes up a lot of the departments time and resources and the income from golf results in a significantly negative return on investment. The master plan proposes to phase the golf course out and transition to different uses over the next few years. The land could provide opportunities for several different activities including camping, natural areas, foot golf or even disc golf. The clubhouse currently provides a check-in area and storage for the golf course. The building is in good shape and will need to transition along with the course's new use.
- p ADDITIONAL CAMPING**
 In order to better serve the needs of the community and visitors, the master plan proposes to add camping throughout the park. All types of camping that is currently offered will be expanded to accommodate the needs of the park users.
- q ADDITIONAL WOODLAND PLANTING**
 An overall goal of the master plan is to reduce the amount of maintenance necessary for the park department while also increasing the biodiversity of the site. For these reasons, the master plan proposes to put in place a program of reforestation for several large areas of land. Once established, these woodlands will become a place for habitat – an educational opportunity – and place for additional trails and outdoor recreation.

Proposed Features:

r ADDITIONAL PRAIRIE

In order to reduce the amount of time spent on strictly lawn maintenance in the park, the plan proposes to turn large areas of turf grass into the mixed prairie. There is a long list of benefits when adding prairie to the park. The biggest benefit would be the reduced maintenance, but others include absorption and conservation of rainfall - helping in overall drainage of the site; reduction of weeds while creating great biodiversity; addition of habitat for songbirds, butterflies, and other rare animals that live in prairies. The prairie areas also provide significant opportunities for environmental education and outdoor recreation.

s ADDITIONAL TRAILS

The master plan proposes a system of trails that loops throughout the park to connect different activities together, drawing users to experience the whole park. Some trails lead through existing amenities while others are proposed along with new uses. Trails are proposed to be paved with gravel and fines for accessibility to all park users where possible. Some trails may be rust paths with mulch or earthen surfaces.





Site Improvements - Master Plan
Proposed Improvements

Item	Quantity	Units	Low Unit Cost	High Unit Cost	Low Subtotal Cost	High Subtotal Cost
Site preparation						
Demolition of existing concrete foundations	382,350	SF	\$0.50	\$1.00	\$191,175	\$382,350
Demolition of existing buildings & foundations	2	EA	\$10,000	\$25,000	\$20,000	\$50,000
Demolition of existing roads	13,435	LF	\$20	\$25	\$268,700	\$335,875
Lawn Renovation Areas	1	LS	\$75,000	\$100,000	\$75,000	\$100,000
Proposed development						
Asphalt pavement - Parking / Drives	28,705	SY	\$30	\$35	\$861,150	\$1,004,675
Expand Camping (+406600 sf)	406,500	SF	\$4	\$7	\$1,626,000	\$2,845,500
Campground Store	1	EA	\$250,000	\$350,000	\$250,000	\$350,000
New Playgrounds	2	EA	\$200,000	\$350,000	\$400,000	\$700,000
New Entry Features	5	EA	\$5,000	\$12,500	\$25,000	\$62,500
Nature Center & Administration Building	14,000	SF	\$150	\$200	\$2,100,000	\$2,800,000
Snow Hill	1	LS	\$50,000	\$100,000	\$50,000	\$100,000
Expand Lake Cottonwood (+108720 sf)	1	LS	\$50,000	\$100,000	\$50,000	\$100,000
Expand swale & regrade drainage (+ 382540 sf)	42,500	SY	\$4	\$6	\$170,000	\$255,000
New dock with fishing piers	1	LS	\$25,000	\$40,000	\$25,000	\$40,000
Trails (gravel/improved surface)	28,915	LF	\$12	\$18	\$346,980	\$520,470
Rental Shelters (assume 4,000 sf)	2	EA	\$500,000	\$700,000	\$1,000,000	\$1,400,000
Dunn Arena	1	EA	\$500,000	\$2,000,000	\$500,000	\$2,000,000
New Prairie	91	acre	\$1,500	\$2,500	\$136,500	\$227,500
Reforest	45	acre	\$2,000	\$2,750	\$90,000	\$123,750
Subtotal					\$8,185,505	\$13,397,620
Site Development Subtotal					\$8,185,505	\$13,397,620
Design Contingency (10%)					\$818,551	\$1,339,762
Construction Contingency (5%)					\$409,275	\$669,881
Soft Costs - Design, Survey, etc. (15%)					\$1,412,000	\$2,311,089
Contractor overhead and profit (10%)					\$941,333	\$1,540,726
Total					\$11,766,663	\$19,259,079

Note: Cost information is based on input from contractors and landscape architects' historical data, however shall not be construed as a guarantee of actual construction costs when bids are solicited. Costs shown here for building renovation and/or other MEP/Utility work are assumed budget items. As the project moves forward, more accurate information can be provided by engineers and/or contractors involved in the project(s). At this time, nothing is assumed for hazardous materials.



Site Improvements - Phase 1
Core - Nature Center/ Event spaces and shelters

Item	Quantity	Units	Low Unit Cost	High Unit Cost	Low Subtotal Cost	High Subtotal Cost
Site preparation						
Demolition of existing concrete foundations	83,175	SF	\$0.50	\$1.00	\$41,588	\$83,175
Demolition of existing buildings & foundations	2	EA	\$10,000	\$25,000	\$20,000	\$50,000
Lawn Renovation Areas	1	LS	\$75,000	\$100,000	\$75,000	\$100,000
Proposed development						
Asphalt pavement - Parking / Drives	7,380	SY	\$30	\$35	\$221,400	\$258,300
New Entry Features	5	EA	\$5,000	\$12,500	\$25,000	\$62,500
Nature Center & Administration Building	14,000	SF	\$150	\$200	\$2,100,000	\$2,800,000
Snow Hill	1	LS	\$50,000	\$100,000	\$50,000	\$100,000
Expand Lake Cottonwood (+108720 sf)	1	LS	\$50,000	\$100,000	\$50,000	\$100,000
Expand swale & regrade drainage (+ 382540 sf)	42,500	SY	\$4	\$6	\$170,000	\$255,000
New dock with fishing piers	1	LS	\$25,000	\$40,000	\$25,000	\$40,000
Rental Shelters (assume 4,000 sf)	2	EA	\$600,000	\$800,000	\$1,200,000	\$1,600,000
Subtotal					\$3,977,988	\$5,448,975
Site Development Subtotal					\$3,977,988	\$5,448,975
Design Contingency (10%)					\$397,799	\$544,898
Construction Contingency (5%)					\$198,899	\$272,449
Soft Costs - Design, Survey, etc. (15%)					\$686,203	\$939,948
Contractor overhead and profit (10%)					\$457,469	\$626,632
Total					\$5,718,357	\$7,832,902

Note: Cost information is based on input from contractors and landscape architects' historical data, however shall not be construed as a guarantee of actual construction costs when bids are solicited. Costs shown here for building renovation and/or other MEP/Utility work are assumed budget items. As the project moves forward, more accurate information can be provided by engineers and/or contractors involved in the project(s). At this time, nothing is assumed for hazardous materials.



Site Improvements -Phase 2
Golf Course Transition/ South Camping expansion and amenities

Item	Quantity	Units	Low Unit Cost	High Unit Cost	Low Subtotal Cost	High Subtotal Cost
Site preparation						
Proposed development						
Expand Camping	203,250	SF	\$4	\$7	\$813,000	\$1,422,750
Reforest	5	acre	\$2,000	\$2,750	\$10,000	\$13,750
Subtotal					\$823,000	\$1,436,500
Site Development Subtotal					\$823,000	\$1,436,500
Design Contingency (10%)					\$82,300	\$143,650
Construction Contingency (5%)					\$41,150	\$71,825
Soft Costs - Design, Survey, etc. (15%)					\$141,968	\$247,796
Contractor overhead and profit (10%)					\$94,645	\$165,198
Total					\$1,183,063	\$2,064,969

Note: Cost information is based on input from contractors and landscape architects' historical data, however shall not be construed as a guarantee of actual construction costs when bids are solicited. Costs shown here for building renovation and/or other MEP/Utility work are assumed budget items. As the project moves forward, more accurate information can be provided by engineers and/or contractors involved in the project(s). At this time, nothing is assumed for hazardous materials.



Site Improvements - Phase 3
North Camping expansion

Item	Quantity	Units	Low Unit Cost	High Unit Cost	Low Subtotal Cost	High Subtotal Cost
Site preparation						
Demolition of existing concrete foundations	92,980	SF	\$0.50	\$1.00	\$46,490	\$92,980
Proposed development						
Asphalt pavement - Parking / Drives	4,750	SY	\$30	\$35	\$142,500	\$166,250
Expand Camping	203,250	SF	\$4	\$7	\$813,000	\$1,422,750
Subtotal					\$1,001,990	\$1,681,980
Site Development Subtotal					\$1,001,990	\$1,681,980
Design Contingency (10%)					\$100,199	\$168,198
Construction Contingency (5%)					\$50,100	\$84,099
Soft Costs - Design, Survey, etc. (15%)					\$172,843	\$290,142
Contractor overhead and profit (10%)					\$115,229	\$193,428
Total					\$1,440,361	\$2,417,846

addition from first estimat

Note: Cost information is based on input from contractors and landscape architects' historical data, however shall not be construed as a guarantee of actual construction costs when bids are solicited. Costs shown here for building renovation and/or other MEP/Utility work are assumed budget items. As the project moves forward, more accurate information can be provided by engineers and/or contractors involved in the project(s). At this time, nothing is assumed for hazardous materials.



Site Improvements - Phase 4
Hoosier Horse Park improvements

Item	Quantity	Units	Low Unit Cost	High Unit Cost	Low Subtotal Cost	High Subtotal Cost
Site preparation					\$0	\$0
Proposed development						
Parking / Drives/Misc HHP Improvements	14,175	SY	\$30	\$35	\$425,250	\$496,125
Subtotal					\$425,250	\$496,125
Site Development Subtotal					\$425,250	\$496,125
Design Contingency (10%)					\$42,525	\$49,613
Construction Contingency (5%)					\$21,263	\$24,806
Soft Costs - Design, Survey, etc. (15%)					\$73,356	\$85,582
Contractor overhead and profit (10%)					\$48,904	\$57,054
Total					\$611,297	\$713,180

Note: Cost information is based on input from contractors and landscape architects' historical data, however shall not be construed as a guarantee of actual construction costs when bids are solicited. Costs shown here for building renovation and/or other MEP/Utility work are assumed budget items. As the project moves forward, more accurate information can be provided by engineers and/or contractors involved in the project(s). At this time, nothing is assumed for hazardous materials.



Site Improvements - Phase 5

Dunn Arena

Item	Quantity	Units	Low Unit Cost	High Unit Cost	Low Subtotal Cost	High Subtotal Cost
Site preparation Dunn Arena					\$0	\$0
Proposed development Dunn Arena	1	EA	\$500,000	\$2,000,000	\$500,000	\$2,000,000
Subtotal					\$500,000	\$2,000,000
Site Development Subtotal					\$500,000	\$2,000,000
Design Contingency (10%)					\$50,000	\$200,000
Construction Contingency (5%)					\$25,000	\$100,000
Soft Costs - Design, Survey, etc. (15%)					\$86,250	\$345,000
Contractor overhead and profit (10%)					\$57,500	\$230,000
Total					\$718,750	\$2,875,000

Note: Cost information is based on input from contractors and landscape architects' historical data, however shall not be construed as a guarantee of actual construction costs when bids are solicited. Costs shown here for building renovation and/or other MEP/Utility work are assumed budget items. As the project moves forward, more accurate information can be provided by engineers and/or contractors involved in the project(s). At this time, nothing is assumed for hazardous materials.



Site Improvements - Phase 6
Prairie/Re-vegetation Plan- North (includes trails)

Item	Quantity	Units	Low Unit Cost	High Unit Cost	Low Subtotal Cost	High Subtotal Cost
Site preparation						
Demolition of existing concrete foundations	200,000	SF	\$0.50	\$1.00	\$100,000	\$200,000
Demolition of existing roads	13,435	LF	\$20	\$25	\$268,700	\$335,875
Proposed development						
Asphalt pavement - Parking / Drives	2,400	SY	\$30	\$35	\$72,000	\$84,000
Trails	21,500	LF	\$12	\$18	\$258,000	\$387,000
New Prairie	50	acre	\$1,500	\$2,500	\$75,000	\$125,000
Reforest	30	acre	\$2,000	\$2,750	\$60,000	\$82,500
Subtotal					\$833,700	\$1,214,375
Site Development Subtotal					\$833,700	\$1,214,375
Design Contingency (10%)					\$83,370	\$121,438
Construction Contingency (5%)					\$41,685	\$60,719
Soft Costs - Design, Survey, etc. (15%)					\$143,813	\$209,480
Contractor overhead and profit (10%)					\$95,876	\$139,653
Total					\$1,198,444	\$1,745,664

Note: Cost information is based on input from contractors and landscape architects' historical data, however shall not be construed as a guarantee of actual construction costs when bids are solicited. Costs shown here for building renovation and/or other MEP/Utility work are assumed budget items. As the project moves forward, more accurate information can be provided by engineers and/or contractors involved in the project(s). At this time, nothing is assumed for hazardous materials.



Site Improvements - Phase 7
Prairie/Re-vegetation Plan- South (includes trails)

Item	Quantity	Units	Low Unit Cost	High Unit Cost	Low Subtotal Cost	High Subtotal Cost
Site preparation						
Demolition of existing concrete foundations	6,195	SF	\$0.50	\$1.00	\$3,098	\$6,195
Proposed development						
Trails	7,415	LF	\$12	\$18	\$88,980	\$133,470
New Prairie	41	acre	\$1,500	\$2,500	\$61,500	\$102,500
Reforest	10	acre	\$2,000	\$2,750	\$20,000	\$27,500
Subtotal					\$173,578	\$269,665
Site Development Subtotal					\$173,578	\$269,665
Design Contingency (10%)					\$17,358	\$26,967
Construction Contingency (5%)					\$8,679	\$13,483
Soft Costs - Design, Survey, etc. (15%)					\$29,942	\$46,517
Contractor overhead and profit (10%)					\$19,961	\$31,011
Total					\$249,518	\$387,643

Note: Cost information is based on input from contractors and landscape architects' historical data, however shall not be construed as a guarantee of actual construction costs when bids are solicited. Costs shown here for building renovation and/or other MEP/Utility work are assumed budget items. As the project moves forward, more accurate information can be provided by engineers and/or contractors involved in the project(s). At this time, nothing is assumed for hazardous materials.



Site Improvements - Phase 8
Park Amenities- playgrounds, camp store

Item	Quantity	Units	Low Unit Cost	High Unit Cost	Low Subtotal Cost	High Subtotal Cost
Site preparation						
Proposed development						
New Playgrounds	2	EA	\$250,000	\$350,000	\$500,000	\$700,000
Campground Store	1	EA	\$200,000	\$350,000	\$200,000	\$350,000
Subtotal					\$500,000	\$700,000
Site Development Subtotal					\$500,000	\$700,000
Design Contingency (10%)					\$50,000	\$70,000
Construction Contingency (5%)					\$25,000	\$35,000
Soft Costs - Design, Survey, etc. (15%)					\$86,250	\$120,750
Contractor overhead and profit (10%)					\$57,500	\$80,500
Total					\$718,750	\$1,006,250

Note: Cost information is based on input from contractors and landscape architects' historical data, however shall not be construed as a guarantee of actual construction costs when bids are solicited. Costs shown here for building renovation and/or other MEP/Utility work are assumed budget items. As the project moves forward, more accurate information can be provided by engineers and/or contractors involved in the project(s). At this time, nothing is assumed for hazardous materials.

Appendix

Johnson County Park Inventory

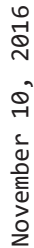
Independence Park Opportunities

Johnson County Park Opportunities



Prepared By:

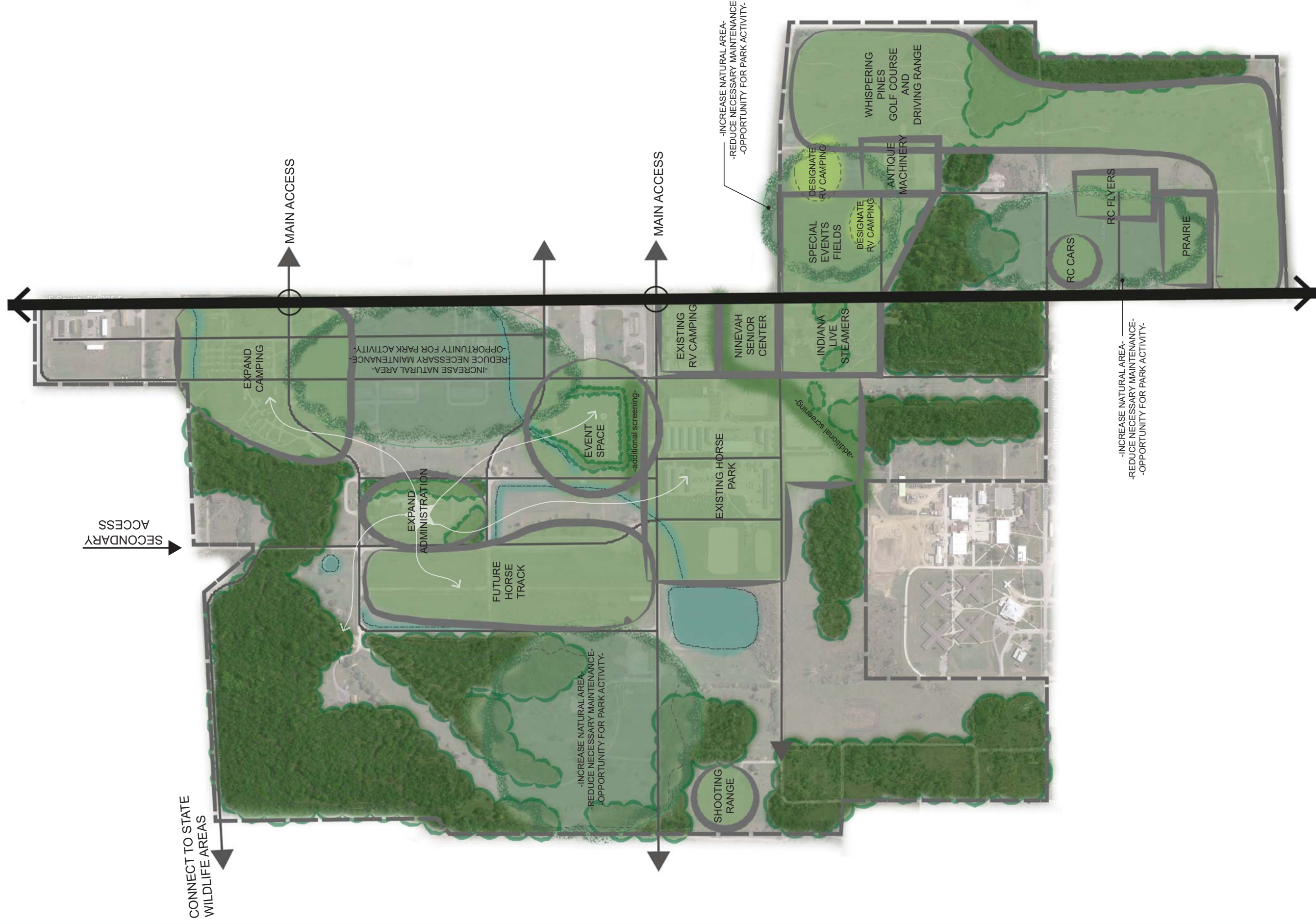




#

- | | |
|---|--|
| # | Park Buildings/Attractions |
| ○ | Public Shelters |
| △ | Camping Sites |
| □ | Restrooms |
| P | Designated Parking |
| □ | Used Existing Building Foundations |
| ⊠ | Non-used Existing Building Foundations |
| ⊗ | Potential Space for Horse Track |
| ⊙ | Horse Park |
| ⊙ | Park Administration/Activity |
| ⊗ | Special Purpose Interest Group |
| ⊗ | Designated Camping Sites |
| ⊗ | Whispering Pines Golf Course |
| — | Existing Roadways |
| — | Drainage Swale |

- A. Scout Camping
 - Tent camping
 - Need more bathroom access
 - Swings and playground out of date
- B. Tent Camping
 - Needs to be moved.
 - Need more bathroom access
 - Swings and playground out of date
- C. RV Camping
 - Possibility for expansion
 - Updated electrical
 - Accessibility issues
 - Need more bathroom access
 - Swings & playground out of date
- D. RV Camping
 - Camping at the Horse Track
 - All camping is on old foundations
 - Old and outdated wiring. Electric not in conduit. Options are either no electricity so visitors must use generator or rework the entire system
 - Located on old foundation that is in very bad shape – metal sticking up as well as foundation holes.
 - Very little vegetation/shade



JOHNSON COUNTY PARK MASTER PLAN Opportunities

Edinburgh, IN 46124

November 10, 2016